

Facility: Columbia Regional Airport

Address: 11300 S. Airport Drive Date of Survey: 01/05/10



1 ACCESS TO THE SITE AND/OR FACILITY

1.1 Exterior Accessible Route (sidewalks, paths, etc.)

- Refer to site plan included with this report: (A) Remove and redo existing 2' wide asphalt patch in drive due to excessive slope (up to 9%). Extend patch area as necessary to obtain a slope as close to 5% as is feasible (see photo 1 below).

Estimated Cost: 1,500.00



Photo 1

- Refer to site plan included with this report: (B) Smooth/patch asphalt along the edge of the main sidewalk truncated dome surfaces (see photo 2 next page).

Estimated Cost: 400.00



Photo 2



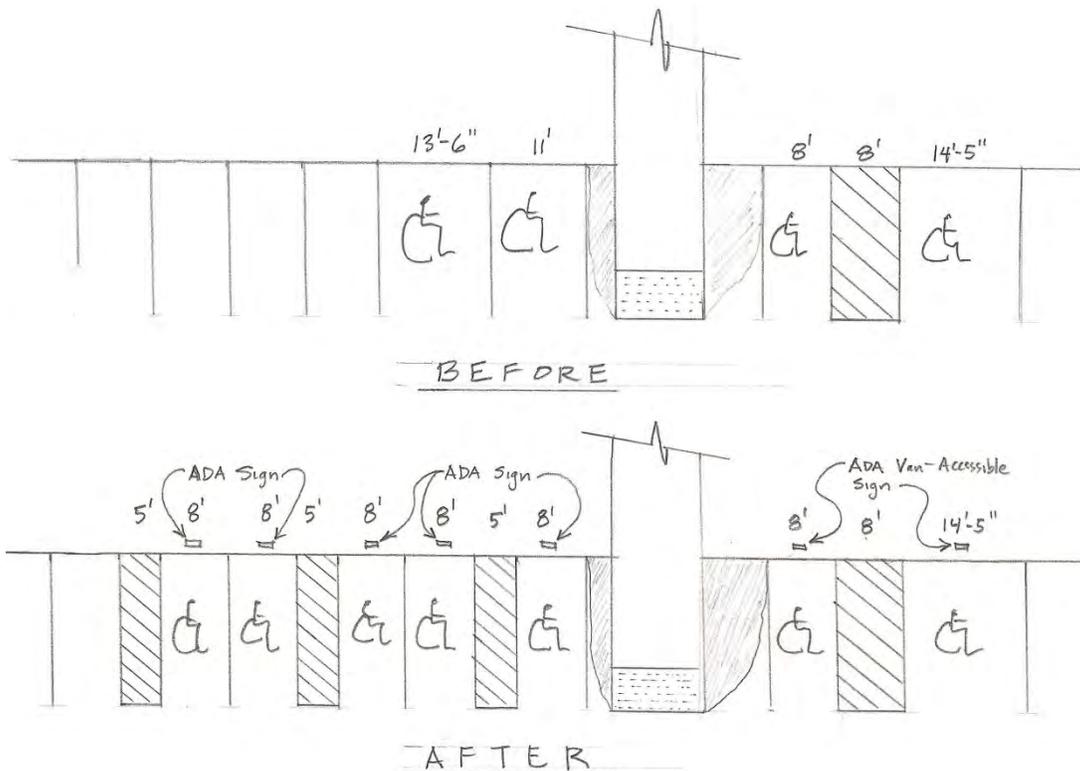
Photo 3

1.2 Parking

Note: With a total of 275 parking spaces at the Main Terminal, ADAAG 4.1.2 requires 7 accessible parking spaces with a minimum of one of those required spaces being van accessible. Only 5 total spaces have been provided (two of those are van accessible spaces). One of the existing spaces (see photo 3 above) is located in the drive directly adjacent to the main terminal entrance, but that space has a raised curb and therefore does not meet ADAAG for a proper access aisle. It is recommended that this existing space be maintained as an accessible drop-off space, but this space will not be counted in the overall requirement of 7 spaces. Therefore, we recommend adding three additional ADA parking spaces (see information below).

- Refer to site plan included with this report: (1) There are two ADA parking spaces located just north of the access walk in the parking lot. These spaces do not have the required access aisle, but the slopes are acceptable. Also recommend adding the three additional ADA parking spaces in this area (see sketch on next page for proposed layout). Restripe (with blue paint) the existing and new parking spaces and related access aisles as shown in the sketch, raise the existing ADA parking signs and install new ADA parking signs in locations shown in sketch (signs to be 72" above grade).

Estimated Cost: \$804.00



- Refer to site plan included with this report: (2) There are two ADA parking spaces located just south of the access walk in the parking lot. The parking space has a slope up to 4% and both spaces and shared access aisle have cross-slopes up to 3.6%. Repave for proper slopes and cross-slopes (no greater than 2% slope in any direction), restripe (with blue paint) the existing parking spaces and access aisle as shown in the sketch above, raise the existing ADA parking signs (signs to be 72" above grade) and install "van access" signs to those sign posts just below the existing sign. **Estimated Cost: \$2,719.00**

1.3 Curb Cuts & Curb Ramps

- No work.

1.4 Exterior Ramps

- Refer to site plan included with this report: (C) The existing 10' wide concrete access path (see photo 4 next page) from the accessible parking area leading to the main terminal entrance area has a 50' lower section with running slope of 5.2% - 7.7% and a 27' upper section with a running slope of 6.4% - 9.3%. At these two sections of walk (ramp), install handrails meeting ADAAG 4.8.5 on both sides of the existing access path. **Estimated Cost: \$9,515.00**



Photo 4



Photo 5

- Refer to site plan included with this report: (D) East exterior ramp from tarmac to baggage room entry door (see photo 5 above) is missing a handrail on one side of the ramp. Install a wall-mounted galvanized steel handrail meeting ADAAG 4.8.5. **Estimated Cost: \$903.00**

1.5 Exterior Stairs

- No work.

2 SERVICES

2.1 Building Entrances (exterior doors)

- No work.

2.2 Interior Accessible Route

- The existing walk-through metal detection unit (see photo 6 next page) provides only 30" clear pass-through space which is 2" shy of minimum ADAAG required wheelchair clearance of 32" at doors or openings. There is a pass gate directly adjacent to the detection opening that provides 34" wide clearance. As long as wheelchair users are allowed to pass through this gate if their wheelchairs are too wide for the standard detection opening, no further changes are required.



Photo 6

2.3 Interior Ramps

- No work.

2.4 Interior Stairs

- No work.

2.5 Elevators

- None exist.

2.6 Platform (wheelchair) Lifts

- A means of wheelchair access is required for planes with a seating capacity of 31 or more per Federal Regulations by the DOT (49 CFR Part 27 – Nondiscrimination on the Basis of Disability in Air Travel effective June 04, 2001). Per conversation with Airport management staff, they do provide a mechanical means of access to their aircraft for persons with disabilities. I did not see firsthand the method or equipment used at this airport and the federal regulations are not specific on what would be considered an acceptable means of providing such access, but it is likely that the use of a mechanical lift, portable ramp or accessible jetway structure or boarding bridge would be required and considered to be acceptable. It is recommended that the management staff along with a group of individuals with disabilities review the current means of access to these aircraft to determine if it is acceptable. Should it be determined that the current means of wheelchair access is not ADA compliant, safe and/or user friendly, they may want to consider several other options that would be available. A manually powered wheelchair lift (see photo 7 next page) designed specifically for use on a tarmac and with the type of aircraft that flies in and out of Columbia will cost around \$30,000. A better solution might be a mobile accessible passenger

boarding ramp (see photo 8 below) which costs around \$19,000 - \$24,000 depending on the options required or desired. For the purposes of this survey, I have not figured any costs at this time.



Photo 7



Photo 8

2.7 Doors (interior, excluding restroom doors addressed in 3.1 and non-public area doors)

- Refer to the building plan included with this report: (E) Adjust the door closers (two) at south vestibule doors so that they open with 5 lbs. force or less.

Estimated Cost: \$40.00

2.8 Places of Assembly (auditoriums, meeting rooms, gymnasiums, etc.)

- No work.

2.9 Seating and Tables

- No work.

2.10 Restaurant (includes dining areas, snack bars, vending areas & public use kitchens)

- The airport restaurant is located on the 2nd floor and is not wheelchair accessible as there is no elevator available. In order to provide these services to individuals with disabilities that cannot access the restaurant via the stairs, they have placed a menu at one of the accessible tables in the waiting area with instructions posted on how to use the intercom placed at that table to order food and drink from the restaurant to be delivered to their table. In my opinion, this is a reasonable alternative accommodation and no further changes are required for restaurant access until which time a major renovation to the Terminal or the Restaurant are undertaken.

2.11 NOT USED

2.12 Business & Mercantile (public & administration areas)

- Refer to the building plan included with this report: (F) Install a fold-down transaction surface at no higher than 36" a.f.f. at the two car rental counters (currently 44.5" high counter surfaces) and one at the flight ticketing counter (currently 47.5" high counter surface). **Estimated Cost: \$225.00**

2.13 Dressing and Fitting Rooms

- Not applicable.

2.14 NOT USED

2.15 NOT USED

2.16 Libraries

- Not applicable.

2.17 Storage

- No work.

3 ACCESS TO PUBLIC AMENITIES

3.1 Drinking Fountains

- No work.

3.2 Restrooms

- Refer to building plan included with this report: (G) North Men's and Women's Restrooms: These restrooms are not accessible and no changes are required as there are ADA accessible restrooms just down the corridor to the south (see items H & I below). **No Cost**
- Refer to building plan included with this report: (H) South Women's Restroom: Relocate the existing braille/tactile ADA restroom sign on the door (or provide a new sign) and mount at the latch side of the door and mounted to be 60" from floor to centerline of the sign, remove the door closer due to the lack of required 12" latch side clearance at corridor side door entry area, build/fur out the side wall 1.5" with a half wall so that the toilet fixture will be 18" from that wall to the centerline of the toilet fixture (requires removal and reinstallation of the side grab bar and tpd also), replace the toilet fixture or adjust existing fixture down at least 1" to get a seat height of 17" – 19", install a min. 36" long rear grab bar (will have to be a split bar due to

height of flush valve) to meet ADAAG Fig. 29 (a) or lower flush valve so that a single 36" long grab bar can be installed (see photo 9 below), relocate the paper towel dispenser and hand dryer to the wall adjacent to the lavatory as they are protruding more than 4" into the access pathway (see ADAAG 4.4.1) in their current location (other option would be to keep them in current location and install a detectable warning below them at a max. height of 27" and extending out from wall same depth as the dispenser and dryer), relocate the shelf with coat hooks to the west wall as it is also protruding into the access path and insulate the pipes below the lavatory

Estimated Cost: \$2,151.00



Photo 9



Photo 10

- Refer to building plan included with this report: (I) South Men's Restroom: Relocate the existing braille/tactile ADA restroom sign on the door (or provide a new sign) and mount at the latch side of the door and mounted to be 60" from floor to centerline of the sign, remove the door closer due to the lack of required 12" latch side clearance at corridor side door entry area, install a small section of grab bar on the side of the tall flush valve that has no grab bar at this time in order to meet ADAAG Fig. 29 (a) or lower flush valve so that a single 36" long grab bar can be installed (see photo 10 above), lower the existing urinal at least 1/2" so that the front rim is no higher than 17" a.f.f. and insulate the pipes below the lavatory. **Estimated Cost: \$944.00**

3.3 Signage

- Included in Section 3.2 above.

3.4 Bathtub & Showers (including locker rooms and dressing rooms)

- Not applicable.

4 BARRIER REMOVAL - OTHER

4.1 Alarms

- No work.

4.2 Public Telephones

- Refer to the building plan included with this report: (J) Remove the fixed seat in one of the phone booths and install a flip-up seat or a non-fixed chair that can be easily moved to allow for wheelchair access to the phone (see photo 11 below).

Estimated Cost: \$150.00



Photo 11

4.3 Protruding Objects

- Included in Section 3.2.

4.4 Work Areas

- No work.

4.5 Sinks, Other than Lavatories

- No work.

5 COST ESTIMATE

5.1 Cost Estimate & Notes

- Note: Changes detailed in this report are for the Main Terminal only. The North Terminal was surveyed and found to be mostly inaccessible, especially to

wheelchair users, due to the existing building design and grades in the area. The cost to remove just one of the existing steep building entry ramps and replace it with a ramp with rails that meet ADA guidelines would be in the neighborhood of \$60,000 - \$70,000. That is just the start as additional modifications to the entry and exit doors and the restrooms in the building would also be required to meet ADA guidelines. This building is no longer used for flights and currently houses FFA and other federal offices and is primarily a work area now. There is a large open meeting room that occasionally is used for meetings where the public are invited to attend. My recommendation is to provide another accessible space in the Main Terminal for publically attended meetings or to accommodate a disabled staff member on an as-needed basis. I have not figured any modification costs for the North Terminal as all necessary services are also available and accessible at the Main Terminal.

- Total facility cost estimate for recommended ADA modifications: **\$19,351.00**

FACILITY SUMMARY		NAME: REGIONAL AIRPORT - MAIN TERMINAL
SECTION HEADING	COST	COMMENTS

1 Access to the Facility

1.1 Exterior Accessible Route	1,900.00	Asphalt patching - various areas
1.2 Parking	3,523.00	Add & repave various ADA parking spaces
1.3 Curb Ramps	-	
1.4 Exterior Ramps	10,418.00	Add handrails @ east ramp & parking lot ramp
1.5 Exterior Stairs	-	

2 Services

2.1 Building Entrances	-	
2.2 Interior Accessible Route	-	
2.3 Interior Ramps	-	
2.4 Interior Stairs	-	
2.5 Elevators	-	
2.6 Platform Lifts	-	
2.7 Doors	40.00	Adjust two door closers
2.8 Places of Assembly	-	
2.9 Seating and Tables	-	
2.10 Restaurant	-	
2.11 NOT USED	-	
2.12 Business and Mercantile	225.00	Install three fold-down transaction surfaces
2.13 Dressing and Fitting Rooms	-	
2.14 NOT USED	-	
2.15 NOT USED	-	
2.16 Libraries	-	
2.17 Storage	-	

3 Access to Public Amenities

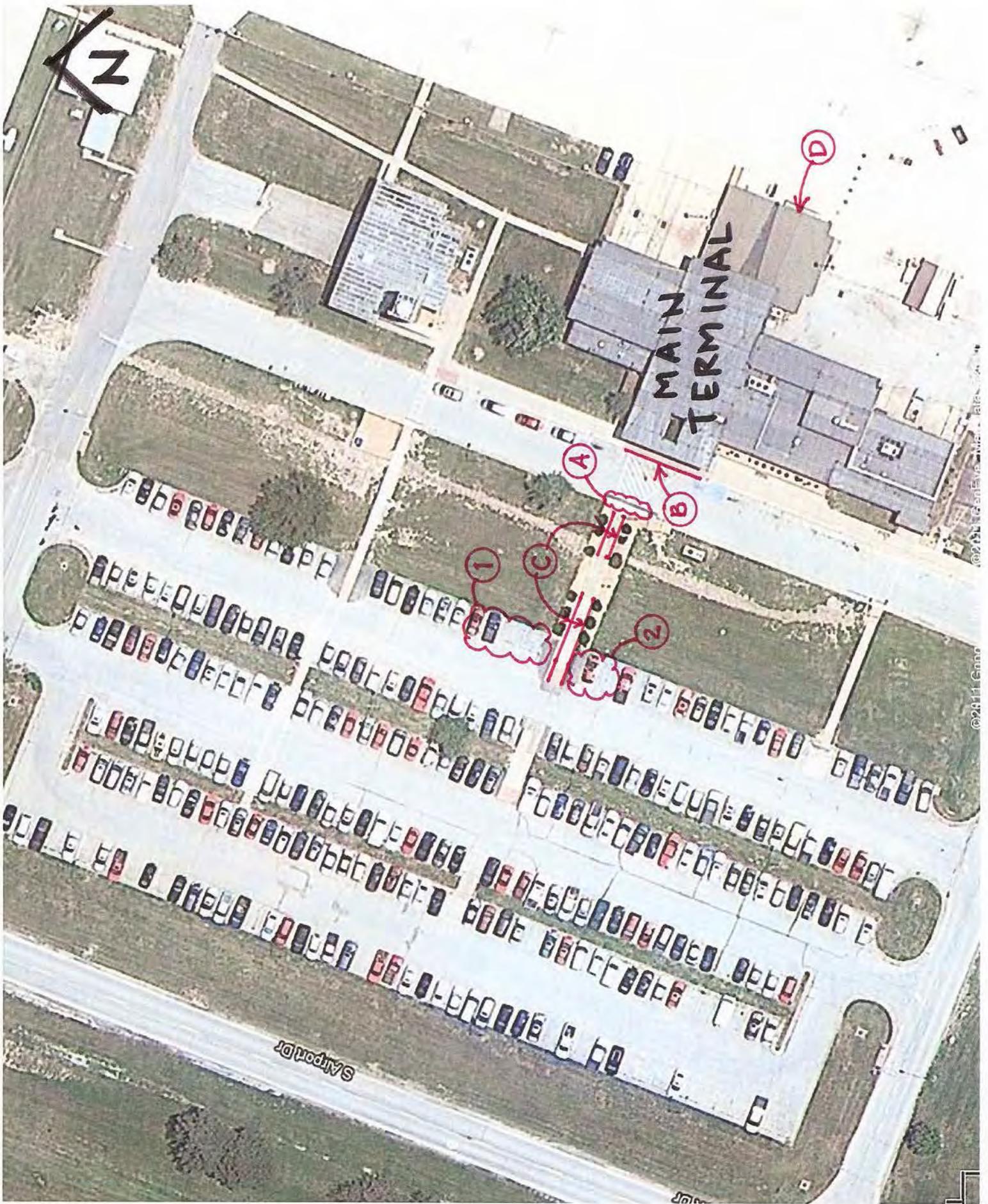
3.1 Drinking Fountains	-	
3.2 Toilet Rooms	3,095.00	Modifications to 2 south restrooms
3.3 Signage	-	
3.4 Bathtubs and Showers	-	

4 Barrier Removal - Other

4.1 Alarms	-	
4.2 Public Telephones	150.00	Install moveable seat @ one phone booth.
4.3 Protruding Objects	-	
4.4 Work Areas	-	
4.5 Sinks, Other than Lavatories	-	

Total Barrier Removal Cost

19,351.00	
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