

29-4.2 M – DT Form-based Controls⁵⁷³

The M-DT district places a primary emphasis on physical form and placemaking—to encourage a mixed-use, pedestrian-oriented district—with a secondary focus on land uses. Property frontages and Facades are part of the public realm, literally forming the walls of the Street-Space and are therefore subject to more regulation than the other portions of the private property. The private, interior portions of the lots are less controlled to allow residents and operators to use these spaces as environments unseen by the public and allow residents to have Private Open Space, gardens and courtyards. The principal regulatory sections of the M-DT district are the Regulating Plan, the Building Form Standards, and the Urban Space Standards, described below.

(a) Purpose and Intent

(1) The Regulating Plan

The Regulating Plan is the key to applying M-DT regulations to individual properties in the District. It provides a public space master plan with specific information on development parameters for each parcel and shows how each lot relates to the Street-Space and the surrounding neighborhood. The Regulating Plan also identifies additional regulations and/or opportunities for lots in specific locations, as well as place-specific exceptions to the Building Form Standards.

(2) The Building Form Standards

The Building Form Standards (BFS) establish basic parameters governing building form for different locations shown on the Regulating Plan in order to shape the Street-Space through the siting and form controls on buildings. Their secondary intent is to ensure that the buildings cooperate to form a functioning, sustainable, Block structure throughout the District. They describe the buildable envelope (in three dimensions) and certain permitted or required building elements that define the form and mixed-use character of the District. The Building Form Standards establish both the boundaries within which things may be done and specific things that must be done. The street frontage designated on the Regulating Plan determines the applicable Building Form Standard for a building site.⁵⁷⁴

(3) The Urban Space Standards

The Urban Space Standards establish those rules and standards for the Street-Space and Squares and Greens within the M-DT district that are the responsibility of the developer. They establish an environment that encourages and facilitates pedestrian activity and “walkable” streets that are comfortable, efficient, safe, and interesting, and ensure the coherence of the Street-Space.

⁵⁷³ New form-based controls prepared by Ferrell-Madden for the M-DT district, which replaces the current C-2 district.

⁵⁷⁴ The distribution of Building Form Standard frontages was determined by the physical context, diversity of allowed/required uses, the 2010 Downtown Urban Design Charrette plan and study of the existing conditions.

(b) Using the M-DT District Form Standards

This section describes how to apply the requirements of the M-DT district to specific properties.

- (1) Look at the Zoning map and determine if property in question is located within the M-DT District. If it is not, then Section 29-4.2 is not applicable.
- (2) Look at the Regulating Plan in Section 29-4.2(c) and find the property in question. Note the color of the Street-Space fronting the lot—and then look at the “key” box to determine which Building Form Standard frontage applies to the property. Note the Required Building Line and the Parking Setback Line.
- (3) Find the applicable individual Building Form Standard in Section 29-4.2(e). The individual Building Form Standard frontage will tell you the parameters for development on the lot in terms of height, siting, elements, and use.
- (4) Additional regulations applicable to all properties in the M-DT district are located in Sections 29-4.2(d)(General Building Form Standards) and (f)(Urban Space Standards).

Land uses, parking requirements, and signage standards, that apply to the M-DT district are found in Chapter 3 and in Sections 4.3 through 4.10 of this Code.

(c) The Regulating Plan

The Regulating Plan makes the M-DT standards place-specific, by describing where each Building Form Standard applies and by defining the public spaces. The Regulating Plan also identifies the items below, as illustrated in the Plan and Key that follow:

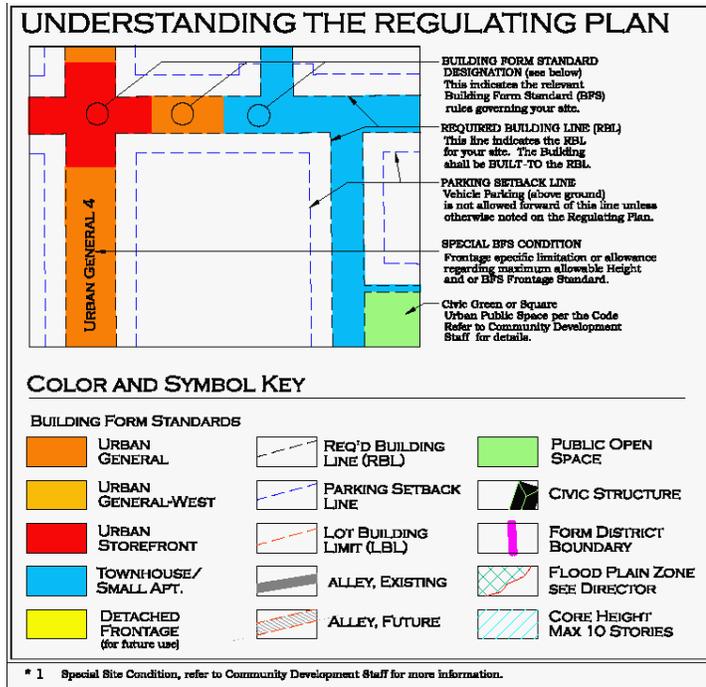
- The boundaries for the **district**;
- Existing and proposed streets and **Alleys**;
- The Required Building Lines, Parking Setback Lines, and Lot Building Limits.

(1) Understanding the Regulating Plan

The following images of the M-DT District Regulating Plan and Key are for illustrative purposes only. A full-scale version of the adopted Regulating Plan can be found at: [website to be inserted]. Contact the Community Development Department for further information about the M-DT district and Regulating Plan.

Comment [PRZ101]: District boundaries along Providence and northwest of Fifth and the half-block between Walnut and Broadway have not been recoded as “Urban General West” . Boundary was established based on potential to contribute to a walkable, urban downtown.

Comment [PRZ102]: Request to remove alleys from regulating plan was by Clarion memo of Nov. 16, 2015. Some proposed alleys have been removed; however, existing alleys are recommended for vacation as they are necessary to provide for loading operations.



(2) Streets, Blocks and Alleys on the Regulating Plan

- (i) Street connectivity and the pedestrian-oriented public realm are fundamental characteristics of the M-DT district.⁵⁷⁵ When a property is developed or redeveloped:
 - (A) For large-scale projects (involving the majority of a Block or more), the Regulating Plan may require the addition of new streets to create a smaller block pattern.
 - (B) No streets shown on the Regulating Plan may be removed without a replacement street being constructed in a location that maintains overall street connectivity in that area.
 - (C) While the street infrastructure may not be constructed or reconstructed until some point in the future, the Required Building Line and other regulations of the Regulating Plan shall apply to each affected property.
 - (D) New Alleys or Pedestrian Pathways required by the Regulating Plan shall be public or publically accessible.
 - (E) All lots shall share a frontage line with a Street-Space.⁵⁷⁶

⁵⁷⁵ Street and Alley configurations shown on the Regulating Plan may or may not be immediately constructed. Recommended Street Types for the M-DT are shown in Appendix A.

⁵⁷⁶ Street-Space includes more than just the street. For example, a lot could front on a park, green, or square.

- (ii) Block size is a key component of walkability. For existing Block Faces of greater than three hundred fifty (350) feet in length at the time of redevelopment:
 - (A) The Block Face must be interrupted by an Alley, Common Drive, or Pedestrian Pathway providing through-access to another Street-Space, Alley, Common Drive or designated Conservation Line.
 - (B) Individual lots with up to one hundred fifty (150) feet of street frontage are exempt from the requirement to interrupt the Block Face
 - (C) Individual lots with over one hundred fifty (150) feet of street frontage shall meet the requirement within their lot, unless already satisfied within that Block Face.
- (iii) Curb Cuts detract from the pedestrian realm and should be limited or removed to the extent possible during redevelopment.
 - (A) For lots with an Alley accessible to service vehicles, existing curb cuts shall be eliminated or vacated at the time of redevelopment unless the Director determines that they are necessary to protect public safety or avoid traffic congestion, or because Alley access will not serve the functional needs of the property.
 - (B) For lots without Alley access, existing curb cuts may be maintained or relocated.
 - (C) Where a parking structure is provided with at least thirty (30) percent of its spaces publically available, existing curb cuts may be relocated or maintained to provide access to the structure, even if the parcel has Alley access.
- (iv) Alleys are a key component of M-DT District connectivity and service infrastructure.
 - (A) Alleys or Common Drives must provide automobile and service access to the rear of all lots, except where the City has regulated alley access, where lots abut non-developable lots, or where a lot has streets on three sides and the absence of an Alley or Common Drive would not deprive an adjacent neighbor of rear lot access.⁵⁷⁷
 - (B) New Alleys require an amendment to the Regulating Plan.
 - (C) For new Alleys or Common Drives, public access, public utility, and drainage shall be dedicated through an irrevocable easement.
 - (D) Alleys may be incorporated into (rear) parking lots as standard drive aisles if cross-access to all abutting properties is maintained.
 - (E) Where an Alley does not exist but is identified on the Regulating Plan, and it is not feasible to construct the Alley at the time of redevelopment, no permanent structure shall be constructed on the proposed Alley right-of-way.

(3) Regulating Plan Amendments

Any amendment or change to the Regulating Plan shall require the adoption of a revised Regulating Plan through the same procedures used for an amendment to the Zoning Map as described in Chapter 5 (Procedures and Enforcement) of this Code.

⁵⁷⁷ Revised since Module 3 to recognize cases where the City does not allow alley use for vehicle access.

(d) General Building Form Standards

The Building Forms detailed in this section establish the standards and parameters for new development and redevelopment within the M-DT District. The following standards apply to all Building Form Standard frontages, unless expressly stated otherwise within an individual Building Form Standard or otherwise designated on the Regulating Plan.

(1) Transitions

When the Building Form Standard designation shown on the Regulating Plan changes along a property’s Required Building Line, that property owner has the option of applying either Building Form Standard for a maximum additional distance of fifty (50) feet along that Required Building Line.

(2) Façade Composition⁵⁷⁸

“Façade composition” is the arrangement and proportion of façade materials and elements (windows, doors, columns, pilasters, bays). “Vertical” indicates the composition from the sidewalk level to the parapet or eaves. “Complete and discrete” distinguishes one part of the Façade from another to break down the perceived scale of large buildings and provide a better pedestrian experience.

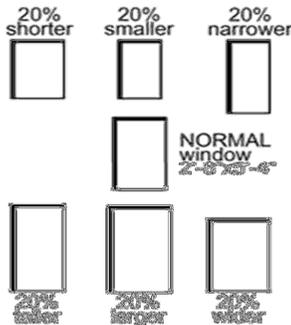


Figure 4.2-1: Fenestration Proportions: Minimum differences to achieve subsection (B)

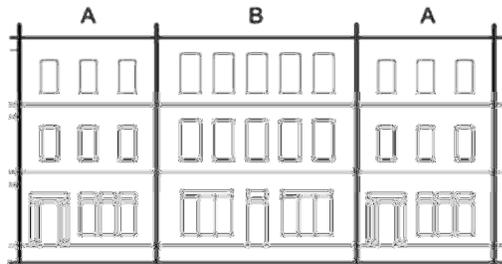


Figure 4.2-2: Different Vertical Façade Bay Compositions within a Block Face- “A” and “B” have: different number of bays; different Ground Story window and door configurations; and different Upper Story window sizes and spacing.

- (i) Along each Block Face, Façades along the Required Building Line shall be broken down into Complete and Discrete Vertical Façade Compositions to maintain and/or create a pedestrian-scale for the Street-Space., The maximum average length of individual Façade Compositions along a Required Building Line (generally running parallel to the fronting sidewalk) for each Building Form Standard is specified in the Elements section of the Individual Building Form Standard Frontage standards.⁵⁷⁹

⁵⁷⁸ Since Module 3, text and drawing captions have been revised to clarify intent.

⁵⁷⁹ Note that these are average distances, not absolute intervals. A longer Façade composition may be presented, as long as smaller compositions appear within the same Block Face in order to achieve the above-stated average.

(ii) To achieve a Complete and Discrete Vertical Façade Composition along a street frontage requires, at a minimum, subsection (A) below and at least two additional items from subsections (B) through (E) below:

- (A) Clearly different Ground Story Façade configuration (either materials or Fenestration proportions and spacing or both) from one Vertical Façade Composition to the next.
- (B) Fenestration proportions differing between one Vertical Façade Composition to the next of at least twenty (20) percent in height or width or height:width ratio (See Figure 4.2-1).
- (C) At least two (2) different bay configurations (See Figure 4.2-2).
- (D) Change in wall material (changes in paint color are insufficient).
- (E) Change in total Fenestration percentage (minimum difference 12 percent; ground floor Façades are not included).

(iii) Each Façade composition, regardless of the number of bays such composition may have, shall include a functioning street entry door.

(iv) Individual infill projects on lots with street frontage of less than one hundred (100) feet on a Block Face are exempted from the overall Façade composition requirement for that Block Face, but shall still include a functioning street entry.

(v) Where glass is used to meet the fenestration requirements, it shall have a light transmission at the Ground Story of at least seventy (70) percent and for the upper stories at least fifty-five (55) percent, unless otherwise required by the building or energy conservation code.⁵⁸⁰

Comment [P103]: Creative options to meet this standards not proposed. Alternatives such as public art, murals, etc. not viewed as appropriate to retain an "active" or "living" façade. Relief possible via BOA variance.

Comment [P104]: Changed added for clarity per Clarion memo of Nov. 16, 2015

Comment [P105]: Modified from 90% per Clarion memo of Nov. 16, 2015. Relief possible via BOA variance.

Comment [P106]: Modified from 75% in recognition of change in Ground Story light transmission.

(3) Building Size

The maximum ground floor footprint for each building, but not including parking structures that comply with this Code, is thirty-four thousand (34,000) gross square feet.⁵⁸¹ The construction of larger buildings shall require an Adjustment of Form-based Controls as described in Section 19-5.4(e).

Comment [PRZ107]: Changed from 25,000 sq.ft per Clarion memo of Nov. 16, 2015. This square footage is equal to the size of a standard half-block in downtown

(4) Neighborhood Transitions⁵⁸²

For any Urban General, Urban Storefront, and Urban General-West frontage sites, the following rules apply.

This requirement may be satisfied for large footprint uses, such as large groceries and department stores, through the use of liner shops.

⁵⁸⁰ Window transparency is fundamental to a healthy urban Street-Space Reflective, rather than clear, windows are effectively a blank wall and deaden the street.

⁵⁸¹ The maximum building footprint limits the scale of individual buildings in M-DT and maintains the pedestrian scale along the street frontage. A typical Downtown Columbia block is approximately 72,000 square feet. This standard will allow a building that is 100x250 feet, or approximately one third of block. The new portion of City Hall has a footprint of just over 10,000 square feet. A typical supermarket ranges from 50-75,000 square feet.

⁵⁸² Depending on the final adopted M-DT Regulating Plan, the Neighborhood Transitions standards may be deleted.

- (i) Where a site shares a Common Lot Line with an R-MF lot that is limited to a single-family detached residential structure due to lot size:
 - (A) There shall be at least a twenty (20) foot setback from the Common Lot Line. Common Drives and Alleys are allowed in this setback area. (See Figure 4.2-3).
 - (B) Notwithstanding any minimum height requirement, within fifty (50) feet of the Common Lot Line, and within eighty (80) feet of any Required Building Line, the structure shall have a maximum height of thirty (30) feet. (See Figure 4.2-4).

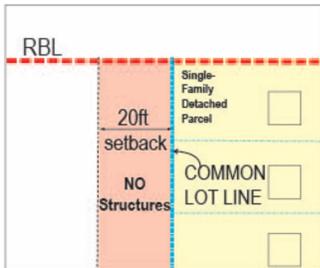


Figure 4.2-3: Common Lot Line Setback

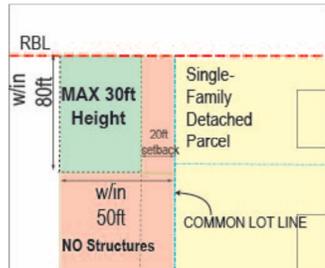


Figure 4.2-4: Common Lot Line & Height

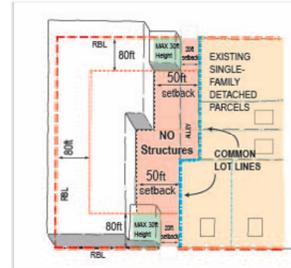


Figure 4.2-5: Buildable Envelope Limitations (Illustrative Intent)

- (C) Farther than eighty (80) feet from any Required Building Line, there shall be an additional thirty (30) foot setback -- for a total setback of fifty (50) feet -- from the Common Lot Line for all structures. Surface parking and Common Drives and Alleys are allowed in this setback area. (See Figure 4.2-4).

(ii) Where a site shares a Common Lot Line with (or sits across an Alley from) a single-family residential property, a garden wall, four (4) to six (6) feet in height, shall be constructed within one (1) foot of the Common Lot Line or Alley. Trees from the Street Tree List shall be planted, on maximum thirty (30) foot centers, within ten (10) feet of this wall. Required tree planting numbers and locations may be adjusted to accommodate any required fire access.

(5) Height⁵⁸³

- (i) The height of all buildings is measured in Stories, with a Building Height limit in feet, measured from the average fronting sidewalk elevation to the top of the wall plate, unless otherwise designated in this Section 29-4.2.⁵⁸⁴

⁵⁸³ Since Module, provision that Attic Story is not included in building height has been removed. Building height measures are now the same throughout the City.

⁵⁸⁴ This method of measuring building height in both stories and feet provides an absolute maximum height in feet, while also encouraging varied floor-to-floor heights and roof types without increasing maximum density. This allows for more generous clear heights and accommodates unique designs such as grand lobbies, loft spaces, penthouse configurations, and habitable attic stories. This measurement applies to the M-DT district only, and may be adjusted for closer alignment with height measurement rules in other districts in the final adoption draft.

- (ii) The minimum Façade height that is required at the Required Building Line is shown on the individual Building Form Standard.
- (iii) English basement units do not count against the building story height limit but do count against the Building Height measurement.
- (iv) If a parking structure is constructed after the adoption of this Section 29-4.2 and any portion of the parking structure is located within thirty (30) feet of a building constructed pursuant to this Section 29-4.2, no portion of the parking structure shall exceed the building's primary roof ridge or parapet height.
- (v) At least eighty (80) percent of each Story must meet the minimum Clear Height prescribed in the Individual Building Form Standard.
- (vi) The Ground Story finished floor elevation requirements shall be measured:
 - (A) From the average exterior sidewalk elevation at the Required Building Line, and
 - (B) Within thirty (30) feet of any Required Building Line.

(6) Siting

- (i) Building Façades shall be built to the Required Building Line as stated in the Individual Building Form Standard.
- (ii) The building Façade shall be built to the Required Building Line within thirty (30) feet of a Block Corner, unless otherwise stated in the Individual Building Form Standards.
- (iii) The Required Building Line, which is shown on the Regulating Plan as an absolute line, allows an offset area (or depth) of twenty-four (24) inches beyond that line (into the Buildable Area) to allow for Façade articulation, unless otherwise stated in this Section 29-4.2. Portions of the Façade located within that twenty-four (24) inch zone comply with the Required Building Line.
 - (A) **The Required Building Line for property located along Providence Road, regardless of Frontage Type, allows an offset area (or depth) of sixty (60) inches beyond that line (into the Buildable Area) to allow for Façade articulation. Portions of the Façade located within that sixty (60) inch zone comply with the Required Building Line. If no building is located within this area, it shall be improved with landscaping materials as approved by the City Arborist.**
- (iv) Buildings may only occupy that portion of the lot specified as the Buildable Area—the area behind the Required Building Line as designated by the individual Building Form Standards.
- (v) No part of any building may be located outside of the Buildable Area except overhanging eaves, awnings, shopfronts, bay windows, stoops, steps, or balconies. Handicapped ramps approved by the Director in order to comply with federal law may also extend beyond the Buildable Area. Stoops, steps, and ramps shall not be located within a required Clear Walkway. For appropriate commerce and retail uses, temporary displays or cafe seating may be placed in the Dooryard.
- (vi) No part of any building may be located outside of any designated Lot Building Limit.

Comment [PRZ108]: Section permits additional setback along Providence Road as supported in Clarion memo of Nov. 16, 2015.

- (vii) There is no required setback from Alleys or Common Drives except as stated on the Building Form Standards. On lots without Alley access, a minimum twenty-five (25) foot setback from the rear lot line shall apply.
- (viii) There are no side lot setbacks, except as specified in the Neighborhood Transitions (above) or in the Building Form Standards.
- (ix) The Parking Setback Line is generally twenty-four (24) feet behind the Required Building Line and extends as a vertical plane from the first floor level unless otherwise shown on the Regulating Plan⁵⁸⁵ or otherwise stated in this Section 29-4.2. Vehicle parking shall be located behind the Parking Setback Line, except where parking is provided below grade, on-street, or otherwise indicated on the Regulating Plan.

(A) Except for buildings located along Ninth Street and Broadway, the Parking Setback Line on second floor levels and above may extend to the Required Building Line of the frontage type as shown on the Regulating Plan. In no instance shall parking be located closer than twenty-four (feet) to the Required Building Line on any first floor level.

- (x) All lots, including corner lots and through lots, shall satisfy the build-to requirements for all of their Required Building Line frontages, and the Dooryard and/or front yard requirements for each designated Building Form Standard, unless otherwise stated in this Section 29-4.2.
- (xi) Where a Street Wall is required in the Individual Building Form Standard, it shall be located along any Required Building Line frontage that is not otherwise occupied by a building.⁵⁸⁶

Comment [P109]: Standard added per Clarion memo of Nov. 16, 2015

Comment [P110]: Standards not eliminated per Clarion memo Nov. 16, 2015. Variance can be sought through BOA

(7) Private or Public Open Area

Private or public open area must comply with standards in each Individual Building Form Standard Frontage (Section 29-4.2(e)) and in Section 29-4.4 (Landscaping and Screening).

(8) Balconies⁵⁸⁷

- (i) Balconies may not project within five (5) feet of a Common Lot Line.
- (ii) Where an Individual Building Form Standard includes Balconies as a method for achieving the required Private or Public Open Area, the Balcony:
 - (A) Shall be enclosed by balustrades, railings, or other means that block at least fifty-five (55) percent of the view through them;

⁵⁸⁵ This standard is intended to prevent parking garages being exposed to the street at upper levels. As drafted, it applies throughout the M-DT District, but could be limited to key geographic locations via specific designations on the Regulating Plan, as stated above.

⁵⁸⁶ Street Walls are only required when a property is redeveloped. Street Walls are not completely opaque, as they are required to meet all fenestration requirements for the frontage in which they are located. The intent is that they maintain the built edge of the public realm and screen service areas. We expect that there will be very few Street Walls of more than minimal length (simply closing off small gaps between adjacent buildings.). This standard also provides a (small) disincentive for demolishing buildings to create more surface lots in the M-DT district.

⁵⁸⁷ Combines current Sec. 29-26(c) providing for balconies in the current C-2, and new form-based standards. Portions were relocated from Dimensional Standard section in prior draft.

- (B) Shall not otherwise be enclosed above a height of forty-two (42) inches, except with insect screening and/or columns/posts supporting a roof or connecting with another Balcony above; and
- (C) Shall be roofed.
- (iii) Balconies on new, renovated, or retrofitted construction may project into the public right-of-way only if:
 - (A) The improvement complies with section 24-2(c) of the City Code;
 - (B) The balcony projects only over a public sidewalk or an alley, provided that such projection does not cause a disruption to any City service or maintenance of the underlying public improvements. No balcony shall project over the travel lanes of any public street;
 - (C) The maximum projection and minimum height above the public sidewalk shall be governed by the Building Code of Columbia, Missouri, adopted in chapter 6 of the City Code; and
 - (D) The proposed balcony meets all applicable design standards contained in this Code and other ordinances passed by the Council.

(9) Other Building Elements

- (i) Fenestration is regulated as a percentage of the Facade between floor levels. It is measured as glass area (including mullions and similar window frame elements with a dimension less than one inch) or as open area.
- (ii) As illustrated in Figure 4.2-6, unless otherwise designated in the individual Building Form Standards or in the Building Code, no window within ten (10)⁵⁸⁸ feet of a Common Lot Line may be at an angle of less than ninety (90) degrees from that Common Lot Line⁵⁸⁹ unless:
 - (A) That view is contained within the lot (e.g. by a privacy fence/garden wall, opaque glass), or
 - (B) The sill (or other limit to transparency) is at least 6 feet above its finished floor level.
- (iii) No part of any building may project forward of the Required Building Line except overhanging eaves, awnings, Shopfronts, Bay windows, stoops, steps, or balconies. Handicapped ramps approved by the Director in order to comply with federal law may also extend beyond the Buildable Area.

⁵⁸⁸ Reduced from 10 feet in Module 3.

⁵⁸⁹ The intent of this standard is to prevent the construction of adjacent buildings looking directly into one another's windows across a common lot line within a prescribed distance. This does not violate "2nd means of egress" standards, which can be achieved in a variety of ways. It is limiting transparency and direct views.

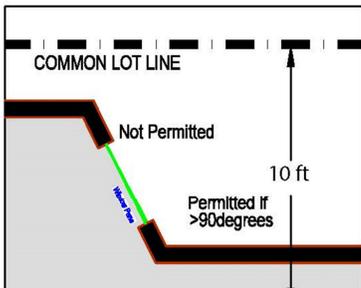
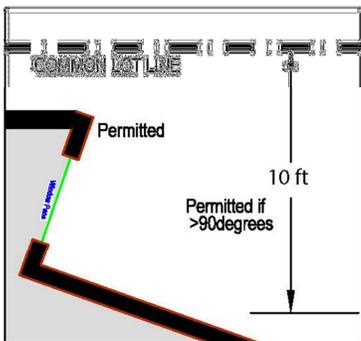
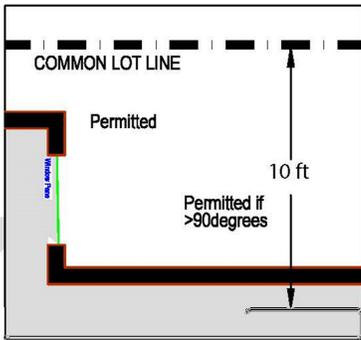


Figure 4.2-6: Relationship between a window and Common Lot Line.

(iv) Ground Story awnings shall maintain a minimum horizontal clearance of one (1) foot from any point where the tree lawn meets the Clear Walkway.

(v) Bay Windows shall have an interior clear width of between four (4) and eight (8) feet at the Façade. Bay Windows shall project no more than forty-two (42) inches beyond the Façade.

(vi) Attic Stories are permitted within all Building Form Standard frontages.

(A) On the Required Building Line/Facade side of the roof pitch, Attic Story windows may only be located in dormers and/or gable ends.

(B) Attic Story Dormers are permitted so long as they do not break the primary eave line, are individually less than fifteen (15) feet wide, and their collective width is not more than sixty (60) percent of the Required Building Line Façade length.

(C) The floor area of an Attic Story, measured as the floor area with a building code minimum Clear Height, may not occupy an area greater than seventy-five (75) percent of the floor area of the Story immediately below.

(D) Attic Stories meeting the above standards do not count against the maximum Building Height in feet or Stories.

(vii) Where visible from the Street-Space, pitched roofs, exclusive of roofs behind parapet walls, shall be pitched between 4:12 and 12:12. Shed roofs, attached to the main structure, shall be pitched between 3:12 and 8:12.

(viii) English Basement Accessory Dwelling Units are permitted in Townhouse frontages and do not count against the maximum building height in Stories provided they have windows above grade and have direct street frontage access.

(ix) At least one functioning entry door shall be provided along each Ground Story Façade. No Ground Story Façade may include a section of greater than seventy-five (75) feet without a functioning entry door⁵⁹⁰, unless otherwise stated in the Building Form Standards.

(x) All required Front Porches shall be completely covered by a roof. Front Porches may be screened when all architectural elements (columns, railings, etc.) occur on the outside of the screen on the side facing the Street-Space. The Front Porch finished floor height shall be no more than eight (8) inches below the first interior finished floor level of the building to which it is attached. Front Porches shall not extend past the Dooryard into the Clear Walkway.

⁵⁹⁰ The intent of this standard is to encourage street activation. A building with 100 feet of street frontage with a single door in the center would meet this standard. It does not apply alongside and rear building elevations.

- (xi) The Stoop finished floor height shall be no more than eight (8) inches below the first interior finished floor level of the building to which it is attached. Stoops shall not extend past the Dooryard into the Clear Walkway.
- (xii) Privacy Fences may be constructed along Alleys and along Common Lot Lines, but shall not be constructed forward of the Required Building Line. Privacy Fences shall have a maximum height of seven (7) feet.

(10) Building Functions

Broad parameters for allowable uses for Ground Stories and upper Stories are identified in each Building Form Standard. Specific permitted use standards are provided in Chapter 29-3.

(11) Civic Buildings

When Civic Buildings are designated on the Regulating Plan, they are exempt from the Building Form Standards.

(e) Individual M-DT Building Form Standard Frontages

This Section describes the intent and the standards applicable to each Individual Building Frontage Type designated on the Regulating Plan. The four Individual Building Frontage Types are:

- Urban General/Urban Storefront
- Urban General – West
- Townhouse/Small Apartment
- Detached

Photos are provided to illustrate each frontage type and are advisory only. Where the statements of intent or photographs are inconsistent with the standards, the standards shall apply.

(1) Urban General/Urban Storefront Frontages

(i) Illustrations and Intent

Urban General is to be used for those properties fronting the orange Street-Spaces on the Regulating Plan. Urban Storefront is to be used for those properties fronting on the red colored Street-Spaces on the Regulating Plan.

Urban General is the basic urban street frontage, once common across the United States. The purpose of this frontage is to develop multi-story buildings placed directly at the sidewalk with one or more entrances and windows across the Façade. The uses range from commercial to residential, municipal to retail and restaurants—and combinations of all of the above. There could be several buildings lined up shoulder to shoulder, filling out a Block, or on smaller Blocks, a single building might fill the Block Face.



Small mixed-use buildings with individual Shopfronts.



Large mixed-use buildings with Shopfronts and vertical facade composition to provide pedestrian scale



Street-oriented residential buildings with small Dooryards.

Where Urban Storefront is designated on the Regulating Plan, the Urban General Building Form Standard shall apply, and the additional specific standards for Urban Storefronts set forth in this subsection shall also apply. The main distinction between Urban General and Urban Storefront is that the Urban Store Ground Story configuration shall be that of a Shopfront – with uses limited to retail, food and beverage, or personal service.

The Urban Storefront frontages are designated in the most intense areas of the M-DT District and it is anticipated that there will be significant pedestrian traffic along these Blocks. The photos illustrate the range of buildings that could be constructed under the Urban General and Urban Storefront frontages.



Transparent Ground Story Facades provide views between interior and exterior, enlivening the sidewalk.



Shopfronts line the Ground Story, with offices or residences above.



(ii) Height

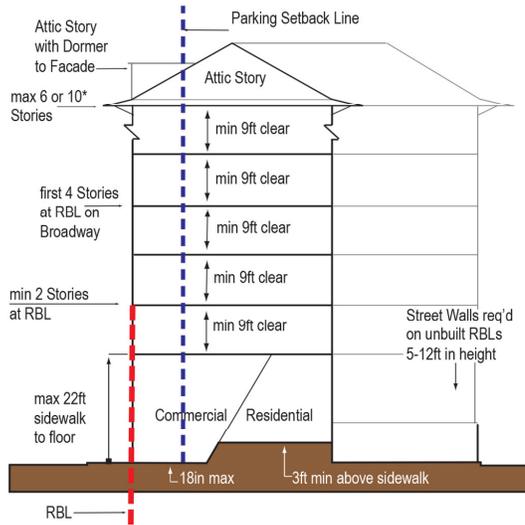


Figure 4.2-7: Urban General/Urban Storefront Height Standards

(A) Building Height⁵⁹¹

The building shall be at least two (2) Stories (the second story shall be occupiable and meet the definition of a story) in height at the Required Building Line, but no greater than six (6) or ten (10) stories, *as designated on the Regulating Plan, with an Building Height of seventy-two (72) or one hundred forty-two (142) feet respectively. For buildings on Broadway that are four (4) or more Stories, the first four (4) Stories shall be built to the Required Building Line.⁵⁹²

Comment [P111]: Added for clarity per Clarion memo of Nov. 16, 2015

Comment [P112]: No change per Clarion memo of Nov. 16, 2015. Could include option for Council approval over 10-stories as currently exists in interim C-2 with modifications.

(B) Ground Story Height

⁵⁹¹ While the C-2 district currently has unlimited building height, the idea of limiting heights in M-DT serves multiple purposes. Tremendous building mass, and therefore leasable space, can be constructed by bring buildings up to the street, maximizing lot coverage, and creating perimeter blocks. (Ten stories would be taller than anything in Downtown Columbia today.) In the near term, the expectation for significant large-scale development is limited, at best. Allowing an individual building of 15 or 20 stories (or taller) would absorb most, if not all, of the market for years to come, or encourage other property owners to simply “hold on to” their property, waiting for the “ideal” redevelopment opportunity to come along. Development of this sort has little or no synergistic effect for the City as a whole. (There are plenty of examples of this scenario around the country—office towers surrounded by parking lots.) It is healthier for Downtown Columbia to have multiple medium-scale redevelopment projects filling in underused blocks than a few monster towers surrounded by vacant properties. In addition, since the current market seems to primarily be “student housing”, the creation of high-rise student apartments would seem less than optimal when trying to maintain a downtown that serves the entire City, not just the colleges and university.
⁵⁹² Note: Building walls help to create an “outdoor room”, ideally in proportion to the Street-Space width. The extra width of Broadway calls for greater height at the street to better define the pedestrian realm.

1) Non-residential uses

- i) The Ground Story finished floor elevation shall be no lower than the average fronting exterior sidewalk elevation; and no higher than eighteen (18) inches above the average fronting sidewalk elevation.
- ii) The Ground Story shall have a Clear Height of at least fifteen (15) feet contiguous to the Required Building Line frontage for a minimum depth of twenty-five (25) feet.

2) Residential Units at the Required Building Line⁵⁹³

- i) The finished floor elevation shall be no less than three (3) feet.
- ii) The Ground Story shall have a Clear Height of at least nine (9) feet.
- iii) Main entrances and lobbies may be at grade, with transitions to meet the minimum finished floor elevation for the units within the building interior.

Comment [P113]: Staff disagrees with Clarion's Nov. 16, 2016 recommendation to remove this provision. Footnote 593 provides sound rationale for retention.

(C) Upper Story Height

The minimum Clear Height for each upper Story is nine (9) feet.

(D) Street Wall Height⁵⁹⁴

A Street Wall not less than five (5) feet in height or greater than twelve (12) feet in height shall be required along any Required Building Line frontage that is not otherwise occupied by a building or forecourt on the lot.

⁵⁹³ Elevating ground floor units that are adjacent to the Required Building Line serves at least two purposes—to provide privacy for those units directly at the public sidewalk and allow them to be “eyes on the street” as units with closed curtains cannot.

⁵⁹⁴ Street Walls are not completely opaque, as they are required to meet all fenestration requirements for the frontage in which they are located. The intent is that they maintain the built edge of the public realm and screen service areas from the same. The expectation is that there will be very few of them of more than minimal length (simply closing off small gaps between adjacent buildings.). The standards can be adjusted to provide greater variation (in height, etc.) between the different frontages—and in some communities, substantial fencing such as brick piers with wrought iron has been allowed to meet the requirement, particularly around surface parking lots. (This standard also provides a (small) disincentive for demolishing buildings to create more surface lots in the M-DT.)

(iii) Siting

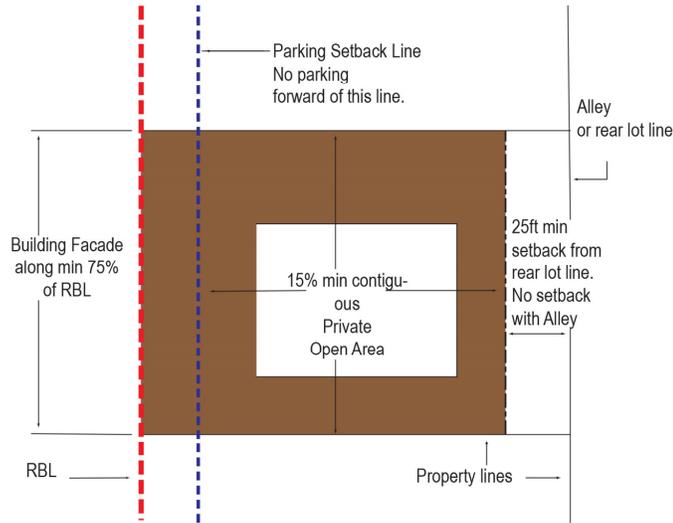


Figure 4.2-8: Urban General/Urban Storefront Siting Standards

(A) Façade

- 1) On each lot the building Façade shall be built to the Required Building Line for at least seventy-five (75) percent of the Required Building Line length.
- 2) A forecourt may be constructed along up to twenty-five (25) percent of the Required Building Line where:
 - i) The forecourt is surrounded on three (3) sides by the building;
 - ii) The surrounding elevations meet all Façade requirements; and
 - iii) The forecourt shall not provide automobile access other than for emergency services.
- 3) Within eight (8) feet of the Block Corner, the Ground Story Façade may be chamfered to form a corner entry.

(B) Buildable Area

The Buildable Area is shown in the diagram.

- 1) A Private or Public Open Area⁵⁹⁵ equal to at least fifteen (15) percent of the total Buildable Area shall be preserved on every lot that have twenty-five (25) feet or greater lot frontage along the adjacent street. Up to thirty-three (33) percent of the

Comment [P114]: Added minimum lot frontage as recommended by Clarion memo of Nov. 16, 2015

(e): Individual M-DT Building Form Standard Frontages (1): Urban General/Urban Storefront Frontages

required Private or Public Open Area may be satisfied through the Balconies of individual units or rooftops as follows:

- i) Where located at grade, such Private or Public Open Area may be located anywhere behind the Parking Setback Line, but not within any required side or rear setbacks.
- ii) Where provided above the second Story but below a building’s roof level, the Private or Public Open Area may be located forward of the Parking Setback Line (such as in a raised courtyard configuration) and shall open onto no more than one Street-Space and shall be set back at least thirty (30) feet from any Block Corner or Building Corner.
- iii) Where located on the building’s roof level, the Private or Public Open Area may be located anywhere on the roof.⁵⁹⁶

(C) Garage and Parking

Openings in any Required Building Line for parking garage entries shall have a maximum Clear Height no greater than sixteen (16) feet and a clear width no greater than twenty-two (22) feet.

(iv) Elements

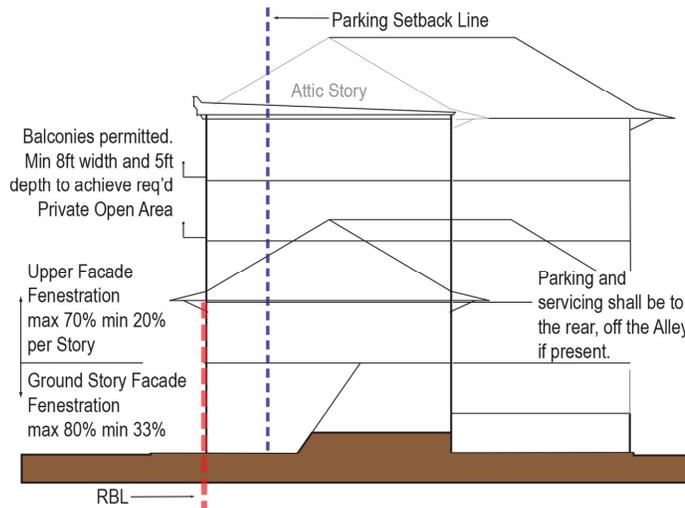


Figure 4.2-9: Urban General/Urban Storefront Element Standards

⁵⁹⁶ The requirement of a Private or Public Open Area is based on the expectation that the M-DT district is going to intensify and the people who live and work in these buildings will need access to some outdoor open spaces. (The intent is not to provide a public amenity, other than to break down the scale of the Façade configuration with balconies that are constructed to a minimum—aesthetic and usable space—standard.) This is a basic “quality of life” provision for urban dwellers. The percentage is relatively low and is typically “sold” as an amenity to perspective lessees. Since Module 3, requirement that a majority of required Private or Public Open Space be in one or two contiguous areas has been deleted.

(A) Fenestration

- 1) Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all Required Building Lines.
- 2) For Urban General frontages, Ground Story Fenestration shall comprise between thirty-three (33) percent and eighty (80) percent of the Ground Story Façade.
- 3) For Urban Storefront:
 - i) Ground Story Fenestration shall comprise between fifty (50) percent and ninety (90) percent of the Ground Story Façade.
 - ii) Single panes of glass shall not be permitted larger than ten (10) feet in height by five (5) feet in width.
 - iii) Ground Story windows may not be made opaque by window treatments⁵⁹⁷ (excepting operable sunscreen devices within the conditioned space). A minimum of eighty (80) percent of the window surface shall allow a view into the building interior for a depth of at least fifteen (15) feet.
- 4) Upper Story Fenestration shall comprise between twenty (20) percent and seventy (70) percent of the Façade area per Story.

(B) Building Projections

Shopfronts may extend up to twenty-four (24) inches beyond the Façade or Required Building Line into the Dooryard, but may not project into the Clear Walkway.

(C) Vertical Façade Composition

- 1) For Urban General – shall occur at no greater than the average street frontage length of seventy-five (75) feet per Block Face.
- 2) For Urban Storefront – shall occur at no greater than the average street frontage length of sixty (60) feet per Block Face.

(D) Street Walls

One access gate no wider than twenty-two (22) feet and one pedestrian entry gate no wider than five (5) feet shall be permitted within any required Street Wall.

⁵⁹⁷ The purpose of this standard is to insure that Urban Storefront windows are not made ineffectual by occupants who build shelving in front of them, paint the windows to obstruct views, or block them with plywood, etc., thereby deadening the Street-Space. (It is not intended to prevent the use of operable window shades, etc.).

(v) Use

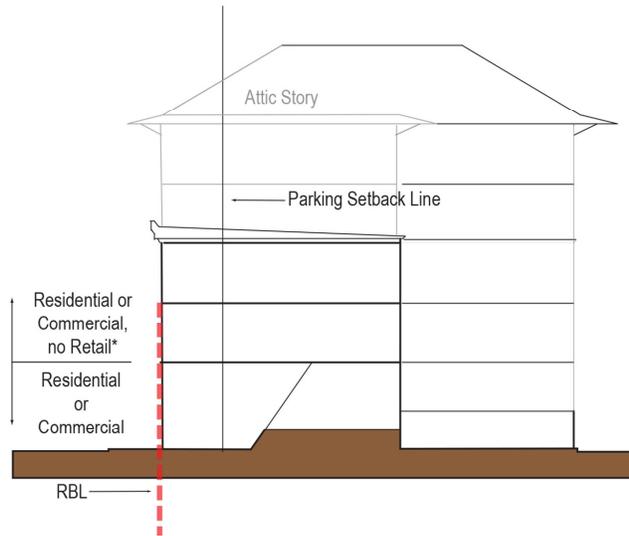


Figure 4.2-10: Urban General/Urban Storefront Use Standards

(A) Ground Story

The Ground Story may only house commercial, industrial, residential, public or institutional uses, as prescribed in Chapter 29-3. See height specifications above for specific requirements unique to each use.

Comment [P115]: Added per Clarion memo of Nov. 16, 2015

(B) Upper Stories

- 1) The upper Stories may only house residential or commercial uses. *Rooftop Food and Beverage Services are only permitted in the locations designated for Core Height on the Regulating Plan. In all other locations, no food and beverage services or retail sales uses shall be allowed in upper Stories unless they are second Story extensions accessory to the Ground Story use.
- 2) No commercial use is permitted above a residential use.
- 3) Additional habitable space is permitted within the roof where the roof is configured as an Attic Story.

(2) Urban General – West Frontage⁵⁹⁸

(i) Illustrations and Intent

This frontage is to be used in those portions of the Regulating Plan colored gold.

The Urban General-West frontage addresses the evolving area of west Downtown Columbia. Given Columbia’s emphasis on sustainability and multi-modal transportation issues, more compact, urban land-use patterns are appropriate for this area. This frontage fosters single and multi-story buildings, placed to the front of their lot, with windows and one or more entrances onto the sidewalk. The uses may range from commercial to residential, municipal to retail and restaurants. Several buildings could stand shoulder to shoulder along a Block Face, or a single building might fill a smaller block. Less intense than downtown, this frontage anticipates a gradual increase in pedestrian traffic over time. It provides improved pedestrian connectivity and transition to the adjacent neighborhoods. The photos illustrate the range of buildings that could be constructed under this frontage.



National chains can provide street-oriented buildings.



This frontage can accommodate large format, single use buildings or compact, mixed-use ones.

⁵⁹⁸ The Urban General-West frontage creates a very flexible Building Form Standard for the area west of Providence

Columbia Development Code Integrated Draft
 (e): Individual M-DT Building Form Standard Frontages

29-4.2: M – DT Form-based Controls
 (2): Urban General – West Frontage



Street-oriented Civic building supports walkability.



Parking located to the side, with low Street Wall defining pedestrian realm.

(ii) Height

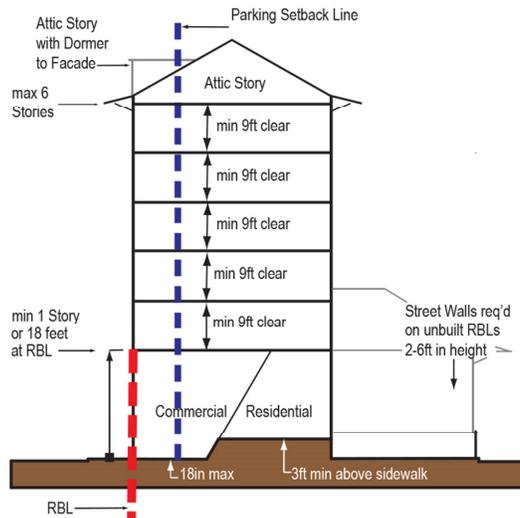


Figure 4.2-11: Urban General West Height Standards

(A) Building Height

The building shall be at least one (1)⁵⁹⁹ Story and eighteen (18) feet in height at the Required Building Line, but no greater than six (6) Stories and seventy-eight (78) feet in height, unless otherwise designated on the Regulating Plan.

(B) Ground Story Height

- 1) Non-residential uses.

⁵⁹⁹ Since Module 3, a minimum building height of 1 story rather than 2 has been clarified.

- i) The Ground Story finished floor elevation shall be no lower than the average fronting exterior sidewalk elevation and no higher than eighteen (18) inches above the average fronting sidewalk elevation.
 - ii) The Ground Story shall have a clear height of at least twelve (12) feet contiguous to the Required Building Line frontage for a minimum depth of twenty-five (25) feet.
- 2) Residential Units at the Required Building Line
- i) ~~The finished floor elevation shall be no less than three (3) feet.~~
 - ii) The Ground Story shall have a Clear height of at least nine (9) feet.
 - iii) Main entrances and lobbies may be at grade, with transitions to meet the minimum finished floor elevation for the units within the building interior.

Comment [PRZ116]: Provision removed per Clarion memo of Nov. 16, 2015. Removal in the frontage type is believe appropriate since such areas would be generally less impacted street level activities.

(C) Upper Story Height

The minimum clear height for each upper Story is nine (9) feet.

(D) Street Wall Height

A Street Wall not less than two (2) feet in height or greater than six (6) feet in height shall be required along any Required Building Line frontage that abuts a surface parking lot.

(iii) Siting

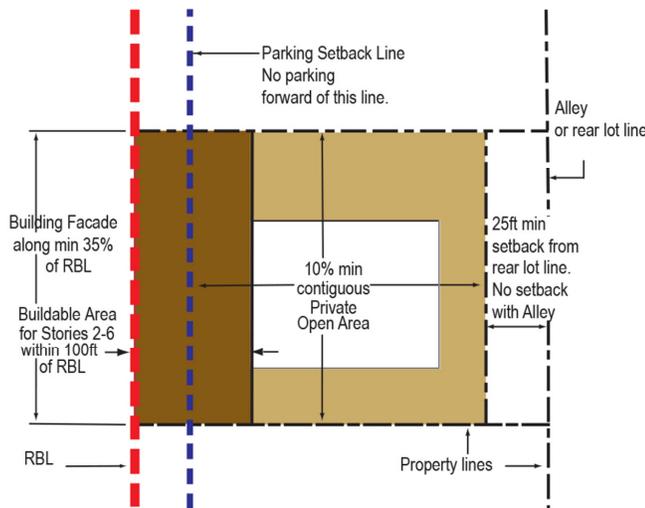


Figure 4.2-12: Urban General West Siting Standards

(A) Façade

- 1) On each lot the building Façade shall be built to the Required Building Line for at least thirty-five (35) percent of the Required Building Line length.
- 2) Within eight (8) feet of the Block Corner, the Ground Story Façade may be chamfered to form a corner entry.

(B) Buildable Area

The Buildable Area is delineated in the diagram.

- 1) The Ground Story may sit anywhere within the buildable area.
- 2) A second Story and above, shall only be within the Buildable Area within one hundred (100) feet of a Required Building Line.
- 3) Where private access drives are configured as recommended M-DT street types, a new Required Building Line shall be created.
- 4) A contiguous Private or Public Open Area equal to at least ten (10) percent of the total buildable area shall be preserved on every lot. At least sixty-seven (67) percent of the Private or Public Open Area shall comprise no more than two separate contiguous areas. Located at grade, such Private or Public Open Area may be located anywhere behind the Parking Setback Line, but not within any required side or rear setbacks.

(C) Garage and Parking

Openings in any Required Building Line for parking garage entries shall have a maximum clear height no greater than sixteen (16) feet and a clear width no greater than twenty-two (22) feet.

(iv) Elements

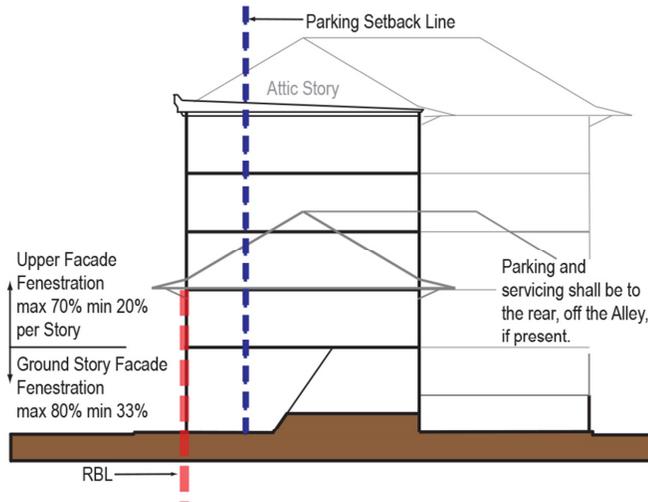


Figure 4.2-13: Urban General West Elements Standards

(A) Fenestration⁶⁰⁰

- 1) Blank lengths of wall exceeding thirty (30) linear feet are prohibited on all Required Building Lines.
- 2) Ground Story Fenestration shall comprise between thirty-three (33) percent and eighty (80) percent of the Ground Story Façade.
- 3) Upper Story Fenestration shall comprise between twenty (20) percent and seventy (70) percent of the Façade area per story.

(B) Vertical Façade Composition

No greater than the average street frontage length of seventy-five (75) feet per Block Face.

(C) Street Walls

One access gate no wider than twenty-two (22) feet and one pedestrian gate no wider than five (5) feet shall be permitted in any required Street Wall.

⁶⁰⁰ These standards only apply to the Façade. The minimum standards will assist in breaking down the scale of large footprint buildings along the street while also providing natural light into the interior.

(v) Uses

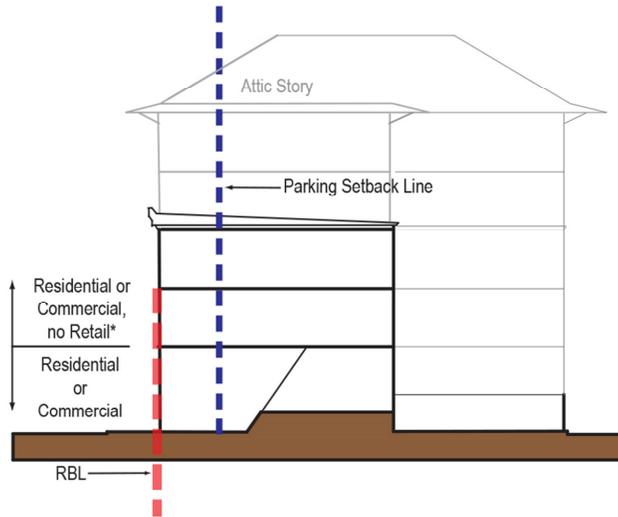


Figure 4.2-14: Urban General West Use Standards

(A) Ground Story

The Ground Story may only house commercial, residential, public or institutional uses, as prescribed in Chapter 29-3. See height specifications above for specific requirements unique to each use.

(B) Upper Stories

- 1) The upper Stories may only house residential or commercial uses. No food and beverage services or retail sales uses shall be allowed in upper Stories unless they are second Story extensions accessory the Ground Story use.
- 2) No commercial use is permitted above a residential use.
- 3) Additional habitable space is permitted within the roof where the roof is configured as an Attic Story.

(3) Townhouse/Small Apartment Frontage

(i) Illustrations and Intent

This frontage is to be used for those properties fronting a blue colored Street-Space on the Regulating Plan.

The Townhouse/Small Apartment frontage is of moderate intensity, often created by a series of smaller attached structures configured as single-family residential or stacked flats. This Building Form Standard has regular Street-Space entrances as frequently as eighteen (18) feet. The character and intensity of this frontage varies depending on the Street-Space and the location of the Required Building Line—the buildings may be placed up to the sidewalk with Stoops, or further back with small Dooryard gardens and/or Front Porches. Similar in scale to the townhouse and row house, a small apartment is of limited size and can also be used to transition from the more intense areas of the M-DT District to adjacent single-family neighborhoods. It is anticipated that the pedestrian activity along these frontages will vary considerably based on the time of day and week. This frontage accommodates office uses. The photos illustrate the range of buildings that could be constructed under the Townhouse/Small Apartment frontage.



This frontage accommodates a range of Townhouses and Small Apartments in a range of building scales and configurations -- but all are street oriented.

(ii) Height

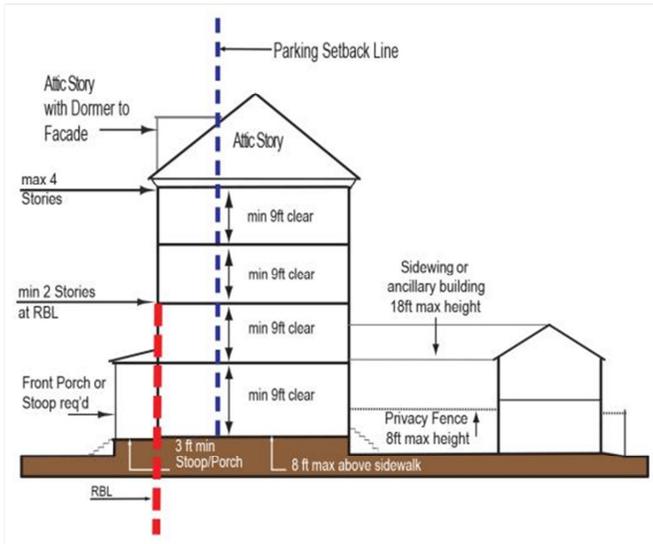


Figure 4.2-15: Townhouse/Small Apartment Height Standards

(A) Building Height

- 1) Each building shall be at least two (2) Stories high at the Required Building Line, but no more than four (4) stories with a building height of fifty-eight (58) feet, unless otherwise designated on the Regulating Plan.
- 2) A Sidewing or ancillary structure shall be no higher than eighteen (18) feet in height.

(B) Ground Story Height

- 1) When English Basement Accessory Units are proposed within a building, the finished floor elevation of the first floor shall be no less than three (3) feet and no more than eight (8) feet above the average exterior sidewalk elevation at the Required Building Line.⁶⁰¹ Ground story residential units, when no English Basement Accessory Unit is to be proposed, may be located at grade and are not required to be elevated above the exterior sidewalk.
- 2) At least eighty (80) percent of the Ground Story shall have an interior Clear Height of at least nine (9) feet.
- 3) Main entrances may be at grade, with transitions to meet the minimum finished floor elevation within the building interior.

Comment [PRZ117]: Added for clarity

Comment [PRZ118]: Height removed per Clarion memo of Nov. 16, 2015.

Comment [PRZ119]: Added for clarity to support change proposed in Clarion memo of Nov. 16, 2015.

⁶⁰¹ This standard is to provide privacy for the Ground Story and allow for English Basement Accessory Units.

(C) Upper Story Height

At least eighty (80) percent of each upper Story shall have an interior Clear Height of at least nine (9) feet.

(D) English Basements

The finished floor level of an English Basement shall be no greater than five (5) feet below the average elevation of the fronting sidewalk.

(iii) Siting

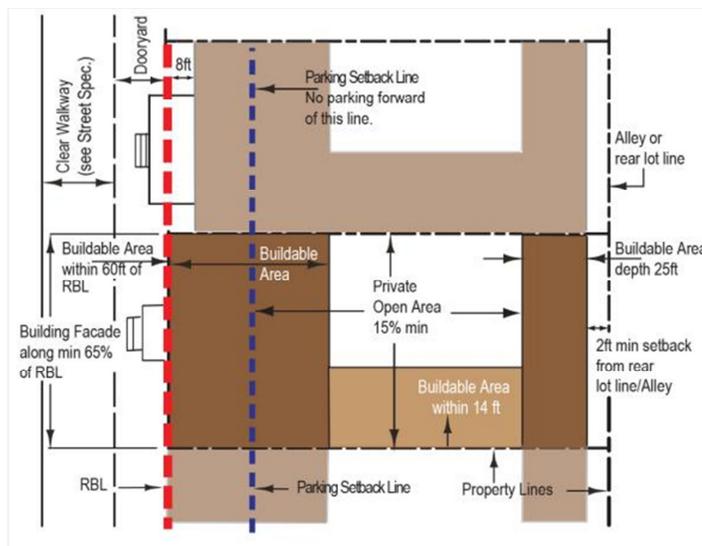


Figure 4.2-16: Townhouse/Small Apartment Siting Standards

Façade

On each site, the Façade shall be built to:

- 1) The Required Building Line for at least sixty-five (65) percent of the Required Building Line length, or
- 2) A line an additional eight (8) feet behind the Required Building Line (only permitted to accommodate Front Porch depth—see Elements subsection for Front Porch requirements) with a width not less than sixty-five (65) of the Required Building Line.

(B) Buildable Area

The Buildable Area is as defined in the diagram above.

- 1) A Private or Public Open Area equal to at least fifteen (15) percent of the total Buildable Area shall be preserved on every lot which may be satisfied through the Balconies of individual units, or rooftops, regulated in Section 29-4.2(d)(9).
602

(C) Garage and Parking

- 1) Garage doors/entries are not permitted on any Required Building Line/Façade.
- 2) At-grade parking may be forward of the Parking Setback Line only when it is within a garage on a corner lot and the parking area's Required Building Line frontage is less than twenty-five (25) feet.

(D) Frontage Widths

- 1) The minimum width for new townhouses is eighteen (18) feet.
- 2) Although there are no individual lot side setbacks, no individual small apartment building or set of townhouses may exceed one hundred (100) feet of street-space frontage. A gap of ten (10) to twenty (20) feet is required between each building.

(iv) Elements

(A) Fenestration

- 1) Blank lengths of wall exceeding fifteen (15) linear feet are prohibited on all Façades.
- 2) Fenestration shall comprise between twenty-five (25) percent and seventy (70) percent of the Façade.
- 3) Each townhouse and/or small apartment building shall include a functioning Street-Space entry.

(B) Vertical Façade Composition

No greater than the average street frontage length of seventy-five (75) feet per Block Face.

(C) Building Projections

- 1) Each townhouse shall include either:
 - i) A Stoop of not more than four (4) feet deep and six (6) feet wide (not including steps); or

602 Since Module 3, text has been simplified to remove distinction between how deep and shallow lots must meet this standard.

- ii) A Front Porch, between eight (8) and ten (10) feet deep that projects no more than two (2) feet forward of the Required Building Line, and has a width not less than sixty-five (65) percent of the Required Building Line.
- 2) A Small Apartment may be configured with a Stoop or Front Porch or with a main entrance at grade.

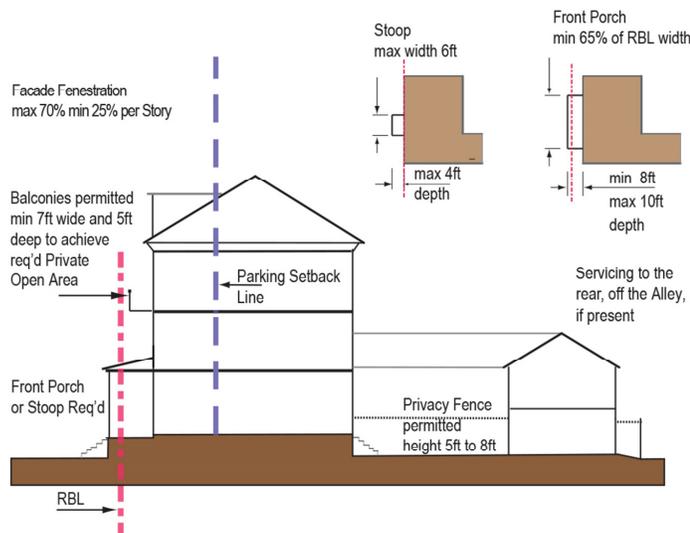


Figure 4.2-17: Townhouse/Small Apartment Elements Standards

(v) Use

(A) All Stories

- 1) Only residential, guest accommodation, and office uses are permitted.
- 2) Individual townhouses shall have no more than two (2) residential units, including an accessory unit.
- 3) Additional habitable space is permitted within the roof where the roof is configured as an Attic Story.

(B) Ground Story Exceptions

Neighborhood serving retail is permitted on the Ground Story of buildings located at a Block Corner.⁶⁰³

⁶⁰³ This standard could include additional specific use standards in 29-3.3, such as square footage limitation, hours of operation, etc.

(C) Accessory Dwelling Units in M-DT

- 1) English Basement Accessory Dwelling Units are only permitted in townhouses.
- 2) Only one (1) Accessory Dwelling Unit is permitted per townhouse.
- 3) On townhouse sites, an Accessory Dwelling Unit, with a maximum area of six hundred-fifty (650) square feet is permitted in the Buildable Area at the rear of the site or lot line.

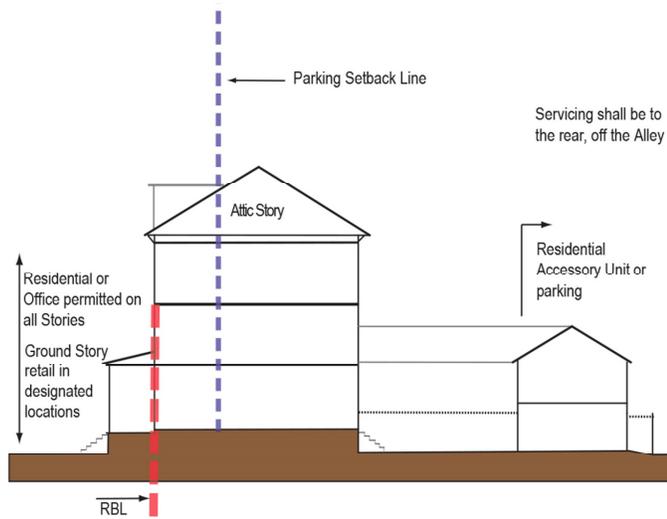


Figure 4.2-18: Townhouse/Small Apartment Use Standards

(4) Detached Frontage⁶⁰⁴

Comment [PRZ120]: This is not a mapped Frontage type. It is included in the event that such a frontage type is desired.

(i) Illustrations and Intent

This frontage is to be used for those properties fronting on a yellow colored Street-Space on the Regulating Plan.

The detached frontage is represented by the traditional single family house with small front, side, and rear yards along a tree-lined street. Structures are one (1) to two (2) stories in height with pitched roofs and Front Porches. Its purpose is to protect the scale and character of existing single family neighborhoods. The photos illustrate the range of buildings that could be constructed under the Detached frontage.



⁶⁰⁴ This frontage is not currently designated in the M-DT District; however, it could be available in the future for use in some areas abutting the District.

(ii) Height

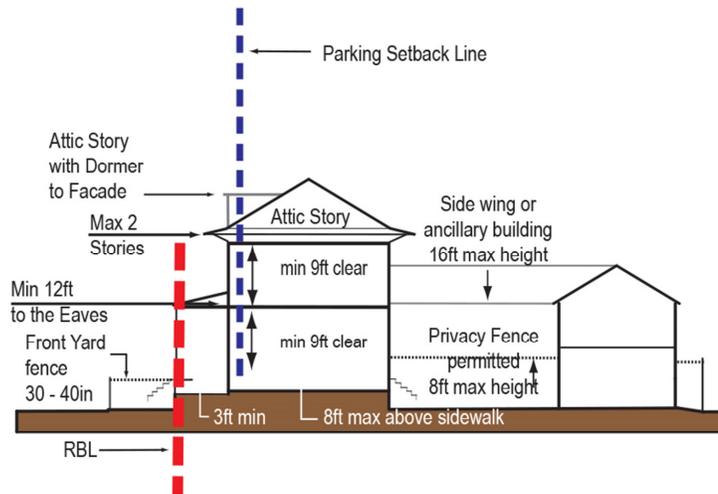


Figure 4.2-19: Detached Height Standards

(A) Building Height

- 1) Each building shall be at least twelve (12) feet at the Required Building Line, but no greater than two (2) stories with an ultimate building height of twenty-seven (27) feet.
- 2) A siding or ancillary structure shall be no higher than sixteen (16) feet.

(B) Ground Story Height

- 1) The finished floor elevation shall be no less than three (3) feet and no more than eight (8) feet above the average exterior sidewalk elevation at the Required Building Line.
- 2) At least eighty (80) percent of the first Story shall have an interior Clear Height of at least nine (9) feet.

(C) Upper Story Height

At least eighty (80) percent of each upper Story shall have an interior Clear Height of at least nine (9) feet.

(D) Front Yard Fence

Any Front Yard Fence has a minimum height of thirty (30) inches and a maximum height of forty (40) inches.

(iii) Siting

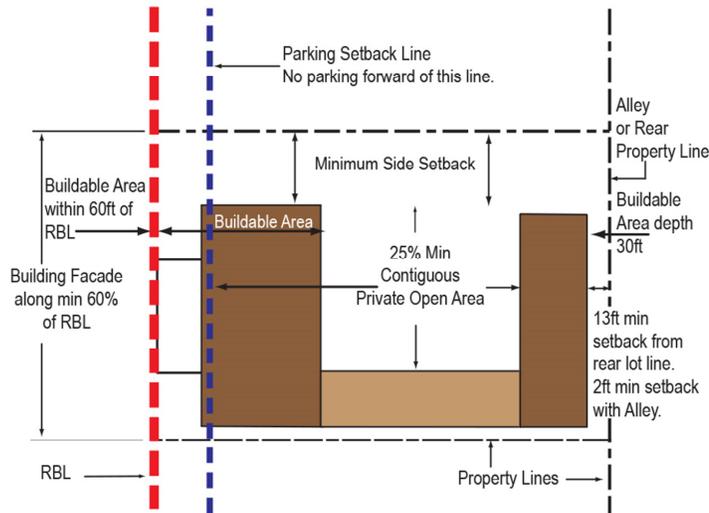


Figure 4.2-20: Detached Siting Standards

(A) Façade

- 1) On each lot the Façade shall be built parallel to the Required Building Line for at least sixty (60) percent of the building width. The Front Porch shall be built-to the Required Building Line.
- 2) For corner lots the minimum sixty (60) percent build-to shall include the frontage within twenty (20) feet of the Block Corner.

(B) Buildable Area

The Buildable Area is as defined in the diagram below.

A contiguous Private or Public Open Area equal to at least twenty-five (25) percent of the total Buildable Area shall be preserved on every lot. Such contiguous area shall be located at grade, anywhere behind the Parking Setback Line and not include any side or rear setbacks.

(C) Lot Size and Setbacks

- 1) All lots of record are buildable under this code.
- 2) Newly subdivided lots shall have a minimum width at the Required Building Line of thirty-two (32) feet, a maximum width of fifty-five (55) feet, and a minimum depth of eighty-five (85) feet.

- 3) The minimum side lot setbacks are five (5) feet or as otherwise designated on the Regulating Plan.

(D) Front Yard

The Front Yard/Dooryard shall not be paved excepting walkways.

(E) Garages, Parking and Alleys

- 1) Garage doors shall not be located on the Required Building Line/Façade.
- 2) There is a two (2) foot required setback from Alleys.

(iv) Elements

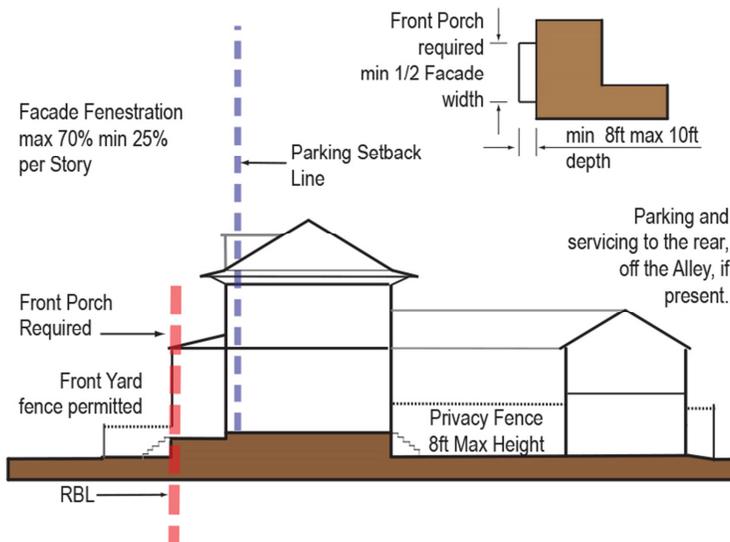


Figure 4.2-21: Detached Elements Standards

(A) Fenestration

- 1) Blank lengths of wall exceeding fifteen (15) linear feet are prohibited on all Façades.
- 2) Fenestration shall comprise at least twenty-five (25) percent, but not more than seventy (70) percent, of all Façades.
- 3) No window may face or direct views toward a Common Lot Line within ten (10) feet unless:
 - i) The view is contained within the lot (e.g. by a privacy fence/garden wall, opaque glass); or
 - ii) The windowsill is at least six (6) feet above the finished floor level.

(B) Building Projections

- 1) Each building Façade shall include a Front Porch at the Required Building Line, between eight (8) feet and ten (10) feet deep with a width not less than fifty (50) percent of the Façade width.
- 2) No part of any building except the Front Porch roof (overhanging eaves) and steps may encroach beyond the Required Building Line into the Dooryard.

(C) Doors/Entries

At least one (1) functioning entry door shall be provided along the Ground Story Façade of each building.

(D) Street Walls

There is no Street Wall requirement.

(E) Fences

- 1) Any Front Yard Fence shall be within one foot of the Clear Walkway/Dooryard line parallel to the Required Building Line and along Common Lot Lines to a point at least ten (10) feet behind the Required Building Line.
- 2) A privacy fence may be constructed along a Common Lot Line behind the Façade.

(v) Use

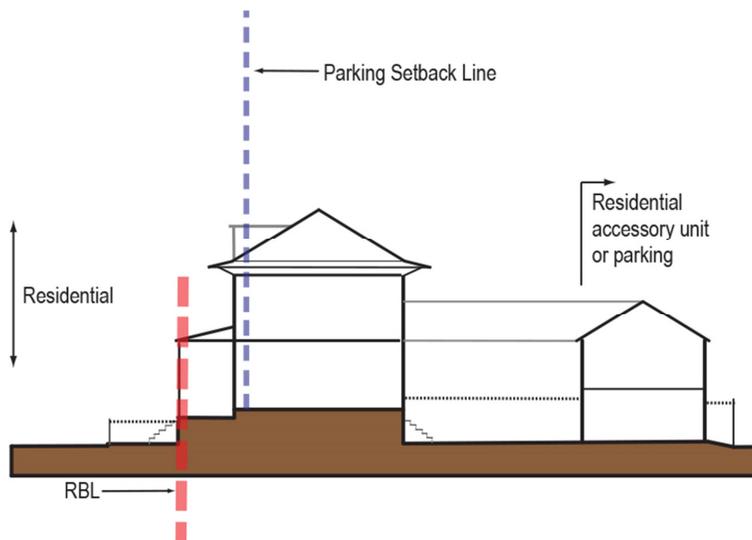


Figure 4.2-22: Detached Use Standards

(A) Ground Story

The Ground Story and any accessory unit shall only house residential uses.

(B) Upper Stories

- 1) The upper stories shall only house residential uses.
- 2) Additional habitable space is permitted within the roof where the roof is configured as an attic Story.

(C) Accessory Uses

Parking uses and Accessory Dwelling Units, with a maximum size of six hundred fifty (650) square feet are permitted in the Buildable Area at the rear of the lot.

(f) M-DT Urban Space Standards

The Urban Space Standards show the relationship between new development or redevelopment and the streets and other public (and publicly accessible) spaces in the M-DT District.

(1) Applicability

The Urban Space Standards apply to the area between building frontages and the curb line of existing or proposed streets in the M-DT district, and are intended to ensure the coherence and pedestrian-friendliness of the Street-Space. These standards are intended to supplement the City's existing street and public works standards. In case of a direct conflict between these standards and the City's street and public works standards, the existing street and public works standards shall apply.

(2) Street-Space Standards

(i) General Provisions

- (A) All plant material shall comply with Section 29-4.5 Landscaping and Screening.
- (B) Mechanical and electrical equipment including, but not limited to the following, may not be stored or located within any Street-Space:
 - 1) Air compressors,
 - 2) Pumps,
 - 3) Exterior water heaters,
 - 4) Water softeners,
 - 5) Private garbage cans (not including public sidewalk waste bins), and
 - 6) Storage tanks.
- (C) Water pumps for public fountains or irrigation not visible are not included in this prohibition and Temporary placement of private garbage cans within the Street-Space may be allowed to accommodate scheduled pick-up.

(ii) Street-Space Plantings

Invasive species, as identified by the Missouri Department of Conservation’s invasive species list, are prohibited within Dooryards and on all parcels in the M-DT District.

(iii) Street-Space Elements⁶⁰⁵

- (A) At the time of development, the developer is required to install streetlights and sidewalks, as illustrated in the Street Type Specifications, on the Street-Space frontage being developed.
- (B) Sidewalks not otherwise designated in the Regulating Plan or Street Type Specifications shall provide a minimum six-foot Clear Walkway and be constructed to meet all existing standards and specifications.
- (C) Street furniture is an element of the overall Street-Space design—not an afterthought. Street furnishings should be simple, functional, and durable.

(iv) On-Street Parking

- (A) On-street parking spaces fronting a development project shall count towards any parking requirements required under Section 29-4.4 (Parking and Loading).
- (B) The parking space/tree planting pattern may be interrupted by existing or new driveways designated in the Regulating Plan, streets, and Alleys, but spacing shall not exceed forty-five (45) feet on center except where necessary for transit stops and stations.

(v) Pedestrian Pathways

The area within a Pedestrian Pathway shall be a public access easement or public right-of-way. The easement width for these pathways must not be less than twenty (20) feet with a paved walkway not less than ten (10) feet wide providing an unobstructed view straight through its entire length, except where otherwise specified on the Regulating Plan.

(3) Street-Type Recommendations

The Street Type Recommendations located in Appendix A illustrate model configurations for the Street-Spaces within the M-DT. The plans and sections specify vehicular travel lane widths, curb radii, sidewalks, Dooryards, tree planting areas, and on-street parking configurations. Dooryards and Alleys are generally reserved for utility easements.

⁶⁰⁵ These requirements will vary depending on the size of development and the context and condition of the existing Street-Space.