## City of Columbia

701 East Broadway, Columbia, Missouri 65201



Agenda Item Number: B 284-14

Department Source: Public Works

To: City Council

From: City Manager & Staff

Council Meeting Date: September 2, 2014

Re: Bid Call and Easement Acquisition for College Avenue Safety Enhancements (CASE) Project

## **Documents Included With This Agenda Item**

Council memo, Resolution/Ordinance

Supporting documentation includes: Maps, Right of Way Plans

## **Executive Summary**

Authorizing a bid call through the Purchasing division, and the acquisition of easements necessary to construct the College Avenue Safety Enhancements (CASE) project. The public hearing for this project was held on May 19, 2014, and Interested Party (IP) meetings were held on November 19, 2013 and February 25, 2014.

#### **Discussion**

The City of Columbia and the University of Missouri have partnered to improve safety for pedestrians and motorists along College Avenue, between University Avenue on the north, and Rollins Street on the south. Council passed Ordinance 21710 on June 3, 2013 authorizing a Cost Allocation Agreement with the University of Missouri, which defines the scope of services and responsibilities of both parties, authorizes the split of the required 20% match of \$164,750, and naming the City as the lead agency for design and construction of the proposed improvements. A public engagement process, which included a targeted public outreach meeting and two IP meetings, were conducted between October 2013 and February 2014.

An engineering evaluation was conducted using input from the public process, new traffic and pedestrian count data, and a 2009 pedestrian study conducted by the University of Missouri, to identify alternative safety improvements for the corridor. The complete report, titled "Preferred Alternative Recommendation for the College Avenue Safety Enhancement (CASE) Project", was previously provided to Council. Based on the Transportation Enhancement grant application, these alternatives were then rated using criteria established by the design team. At the May 19, 2014 public hearing, Council directed staff to proceed with final plans for a low concrete wall, stamped to look like stone, with a short fence on top. The estimated construction cost is \$750,000. The intent of the improvements is to channel pedestrians to two (2) mid-block signalized crossings. The signals will be High-intensity Activated Crosswalk beacons, or HAWK signals, that will stop traffic to allow pedestrians to cross College Avenue.

The report also provided recommendations for infrastructure and operation improvements to help mitigate the left turn restrictions. The infrastructure improvements have been added to the CIP; and the

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operation improvements may be implemented after project construction, and once actual traffic patterns are observed and analyzed.

### Fiscal Impact

Short-Term Impact: The MoDOT grant is for \$659,000, and the City and the University will split a 20% local match of \$82,375 each. The City's portion of the match will be paid by Annual Sidewalk Capital Improvement funds.

Long-Term Impact: Annual costs for maintenance and repairs are estimated at \$2,000.

## Vision, Strategic & Comprehensive Plan Impact

<u>Vision Impact:</u> Transportation

Strategic Plan Impact: Health, Safety and Wellbeing, Infrastructure

Comprehensive Plan Impact: Infrastructure, Mobility, Connectivity, and Accessibility, Livable &

Sustainable Communities

## **Suggested Council Action**

Authorize a bid call through the Purchasing division and the acquisition of easements necessary to construct the College Avenue Safety Enhancement (CASE) project.

## **Legislative History**

05/19/14 - (R64-14) Public Hearing

02/25/14 - IP meeting

12/16/13 - (REP 171-13) Staff Report to Council

11/19/13 - IP meeting

- 08/19/13 (R159-13) Authorizing a contract with Engineering Surveys and Services, LLC for the College Avenue pedestrian refuge enhancement project.
- 06/03/13 (Ord 21710) Authorizing a public infrastructure development cost allocation agreement with the University of Missouri, and appropriating funds

04/29/13 - CATSO FY 2013-2016 TIP Amendments

03/04/14 - (Ord 21621) Authorizing a transportation enhancement funds program agreement with the MHTC for the College Avenue Median/Pedestrian Refuge Project

09/17/12 - (R161-12) Authorization to apply for Enhancement Grant funds

Department Approved

City Manager Approved

Introduced by		_
First Reading	Second Reading	
Ordinance No	Council Bill No.	B 284-14

#### AN ORDINANCE

declaring the need to acquire easements for construction of roadway safety improvements on College Avenue between University Avenue and Rollins Street; authorizing acquisition by negotiation or, if necessary, by condemnation; authorizing the City Manager to obtain and execute all instruments necessary for acquisition of such land; and fixing the time when this ordinance shall become effective.

WHEREAS, the Constitution and Statutes of the State of Missouri and the Home Rule Charter for the City of Columbia, Missouri, authorize the City Council to exercise the power of eminent domain, within or without the City, and among other things, to acquire, and maintain any property, real or personal within or without the City for all public uses or purposes, and to acquire, receive and hold any estate or interest in any such property; and

WHEREAS, the Council deems it necessary for the welfare and improvement of the City and in the public interest that certain private property be acquired by negotiation or by condemnation for public improvement.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF COLUMBIA, MISSOURI, AS FOLLOWS:

SECTION 1. The City Council hereby declares the need to acquire easements for construction of roadway safety improvements on College Avenue between University Avenue and Rollins Street as follows:

# The Curators of the University of Missouri Permanent Utility Easement - (North Crossing)

A tract of land located in the northwest quarter of Section 18 T48N R12W, in Columbia, Boone County, Missouri, further described as follows:

Starting at the northwest corner of Lot 45 of Fair Grounds Addition, recorded in book 80 page 530, shown by said plat as being south 305 feet and east 25 feet from the west quarter corner of Section 18-48-12, thence N 54°04'20"E 1101.26 feet to the westerly right-of-way line of State Route 763 (College Avenue) at a point located 38.50 feet right (west) of station PC 75+86.4; thence N 0°37'10"E, along said line, 537.72 feet, to a point 38.5 feet right (west) of station 70+48.68, the point of beginning.

From the point of beginning, thence leaving the westerly right-of-way line of State Route 763 (College Avenue), N 89°22′50″W 11.00 feet; thence N 0°37′10″E 25.00 feet; thence S 89°22′50″E 11.00 feet to the westerly right-of-way line of State Route 763 (College Avenue) at a point 38.50 feet right of station 70+23.68; thence S 0°37′10″W along said line 25.00 feet to the beginning, and containing 275 square feet or 0.01 acre.

## The Curators of the University of Missouri Temporary Construction Easement - (North Crossing)

A tract of land located in the northwest quarter of Section 18 T48N R12W, in Columbia, Boone County, Missouri, further described as follows:

Starting at the northwest corner of Lot 45 of Fair Grounds Addition, recorded in book 80 page 530, shown by said plat as being south 305 feet and east 25 feet from the west quarter corner of Section 18-48-12, thence N 54°04'20"E 1101.26 feet to the westerly right-of-way line of State Route 763 (College Avenue) at a point located 38.50 feet right (west) of station PC 75+86.4; thence N 0°37'10"E, along said line 612.95 feet, to a point 38.5 feet right (west) of station 69+73.45, the point of beginning.

From the point of beginning, thence leaving the westerly right-of-way line of State Route 763 (College Avenue), N 89°22′50″W 28.00 feet; thence N 0°37′10″E 120.00 feet; thence S 89°22′50″E 28.00 feet to the westerly right-of-way line of State Route 763 (College Avenue) at a point 38.50 feet right (west) of station 68+53.45; thence S 0°37′10″W, along said line, 29.71 feet; thence leaving said line N 89°22′50″W 11.00 feet; thence S 0°37′10″W 34.00 feet; thence S 89°22′50″E 11.00 feet to the westerly right-of-way line of State Route 763 (College Avenue); thence S 0°37′10″W, along said line, 56.29 feet to the beginning and containing 2986 square feet or 0.07 acre.

# The Curators of the University of Missouri Permanent Utility Easement - (South Crossing)

A tract of land located in the northwest quarter of Section 18 T48N R12W, in Columbia, Boone County, Missouri, further described as follows:

Starting at the northwest corner of Lot 45 of Fair Grounds Addition, recorded in book 80 page 530, shown by said plat as being south 305 feet and east 25 feet from the west quarter corner of Section 18-48-12, thence N 54°04'20"E 1101.26 feet to the westerly right-of-way line of State Route 763 (College Avenue) at a point located 38.50 feet right (west) of station PC 75+86.4; thence N 0°37'10"E, along said line, 112.97 feet, to a point 38.5 feet right (west) of station 74+73.43, the point of beginning.

From the point of beginning, thence leaving the westerly right-of-way line of State Route 763 (College Avenue), N 89°22′50″W 13.00 feet; thence N 0°37′10″E 34.00 feet; thence S 89°22′50″E 13.00 feet to the westerly right-of-way line of State Route 763 (College

Avenue) at a point 38.50 feet right of station 74+39.43; thence S 0°37'10"W along said line, 34.00 feet to the beginning and containing 442 square feet or 0.01 acre.

## The Curators of the University of Missouri Temporary Construction Easement - (South Crossing)

A tract of land located in the northwest quarter of Section 18 T48N R12W, in Columbia, Boone County, Missouri, further described as follows:

Starting at the northwest corner of Lot 45 of Fair Grounds Addition, recorded in book 80 page 530, shown by said plat as being south 305 feet and east 25 feet from the west quarter corner of Section 18-48-12, thence N 54°04'20"E 1101.26 feet to the westerly right-of-way line of State Route 763 (College Avenue) at a point located 38.50 feet right (west) of station PC 75+86.4; thence N 0°37'10"E, along said line 50.97 feet, to a point 38.5 feet right (west) of station 75+35.43, the point of beginning.

From the point of beginning, thence leaving the westerly right-of-way line of State Route 763 (College Avenue), N 89°22′50″W 28.00 feet; thence N 0°37′10″E 120.00 feet; thence S 89°22′50″E 28.00 feet to the westerly right-of-way line of State Route 763 (College Avenue) at a point 38.50 feet right (west) of station 74+15.43; thence S 0°37′10″W, along said line, 24.00 feet; thence leaving said line, N 89°22′50″W 13.00 feet; thence S 0°37′10″W 34.00 feet; thence S 89°22′50″E 13.00 feet to the westerly right-of-way line of State Route 763 (College Avenue); thence S 0°37′10″W along said line, 62.00 feet to the beginning and containing 2918 square feet or 0.07 acre.

## Zeta Phi Corp of Beta Theta Pi Temporary Construction Easement

A strip of land, ten (10) feet wide, located in the northwest quarter of Section 18 T48N R12W, in Columbia, Boone County, Missouri, being part of Lot 1 of Pratt's Subdivision – Plat 2, as shown by plat recorded in plat book 34 page 56 of the Boone County records, said ten foot strip lying left, or east of, and adjoining, the following described line;

Beginning at the northwest corner of Lot 1 of Pratt's Subdivision – Plat 2, being 40.0 feet left (east) of State Route 763 centerline station 68+30.6, thence South, along the westerly line of said lot, 159.47 feet to the end of the line. This strip contains 1595 square feet or 0.04 acre.

# **Christian Campus House, Inc. Temporary Construction Easement**

A strip of land, ten (10) feet wide, located in the northwest quarter of Section 18 T48N R12W, in Columbia, Boone County, Missouri, being part of Lots 30, 31 and 32 of

Bouchelle's Addition, as shown by plat recorded in plat book 1 page 17 of the Boone County records, described as follows:

Starting at the northeast corner of Lot 30 of Bouchelle's Addition, thence S 83°54'50"W, along the northerly line of said lot, 161.20 feet to the point of beginning.

From the point of beginning, thence leaving the northerly line of Lot 30 of Bouchelle's Addition, S 5°41′00″E 164.00 feet to the southerly line of the tract of land described by a warranty deed recorded in book 3001 page 77; thence S 83°54′50″W, along said line, 10.00 feet to the easterly right-of-way line of State Route 763 (College Avenue), at a point being 36.5 feet left (east) of centerline station 75+35.38; thence N 5°41′00″W, along said line, 164.00 feet to the northerly line of Lot 30 of Bouchelle's Addition, at a point being 36.5 feet left (east) of centerline station 73+70.38; thence N 83°54′50″E, along said line, 10.00 feet to the beginning and containing 1640 square feet or 0.04 acre.

SECTION 2. The City Manager is authorized to acquire the land described in Section 1 by negotiation.

SECTION 3. The City Manager is authorized to obtain, execute and record all deeds and other instruments necessary to acquire the land described in Section 1.

SECTION 4. If the City cannot agree with the owners, or those claiming an interest in the land described in Section 1, on the proper compensation to be paid for such land, or if the owner is incapable of contracting, is unknown, or cannot be found, or is a non-resident of the State of Missouri, the City Counselor is authorized to petition the Circuit Court of Boone County, Missouri, to acquire the land described in Section 1 by condemnation.

SECTION 5. This ordinance shall be in full force and effect from and after its

e.		
PASSED this	day of	, 2014.
Γ:		
rk		Mayor and Presiding Officer
VED AS TO FORM:		
	PASSED this Γ: rk	PASSED this day of Γ: rk

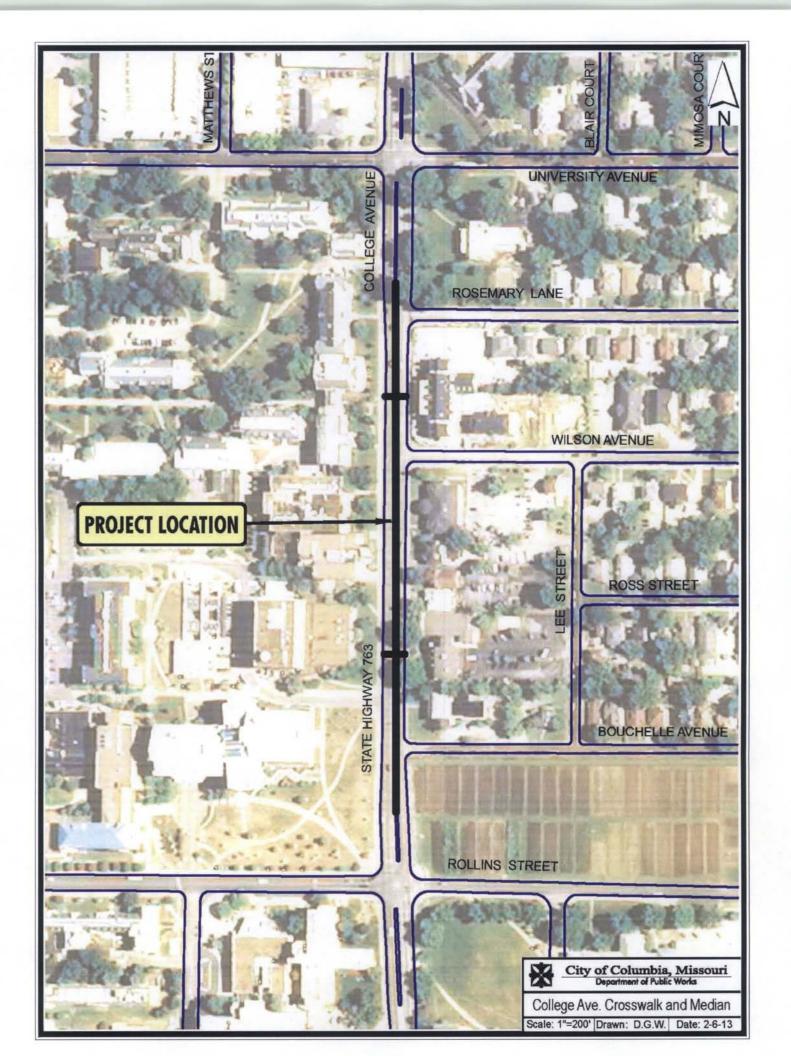
City Counselor

# City of Columbia 701 East Broadway, Columbia, Missouri 65201



# SUPPORTING DOCUMENTS INCLUDED WITH THIS AGENDA ITEM ARE AS FOLLOWS:

Maps, Right of Way Plans



#### UTILITY NOTES

THE LOCATIONS, SIZES, AND MATERIAL TYPES OF UNDERGROUND UTILITIES INDICATED ON THE PLAT, NOT VISIBLE OR APPARENT FROM THE SURFACE, ARE SHOWN IN THER APPROXIMATE LOCATIONS FROM A MISSOURI ONE CALL SYSTEM LOCATE, OR UTILITY COMPANY RECORDS AND WERE NOT VERRIED IN THE FIELD. UNDERGROUND TO ELECTRIC NOT SHOWN. PRIRICATION LINES NOT SHOWN.

TER

CITY OF COLUMBIA WATER & LIGHT DEPARTMENT
P.O. BOX 6015
COLUMBIA, MISSOURI 65205
CONTACT: JOE STRODTMAN 573-874-6308
B\* PVC LIME ALONG NORTH SIDE UNIVERSITY AVENUE
WEST OF COLLEGE AVENUE
18\* AC LIME ALONG NORTH SIDE UNIVERSITY AVENUE
EAST OF COLLEGE AVENUE
LEAST OF COLLEGE AVENUE

\*\*\* A LIME CAME ALONG NORTH SIDE UNIVERSITY AVENUE
EAST OF COLLEGE AVENUE
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I LINE ALONG SOUTH SIDE UNIVERSITY AVENUE EAST COLLEGE AVENUE

+ 49.5

(#)

OF COLLEGE AVENUE
'' CI LINE ALONG EAST SIDE COLLEGE AVENUE NORTH
OF BOUCHELLE AVENUE
'' PPUC LINE ALONG EAST SIDE COLLEGE AVENUE SOUTH
OF BOUCHELLE AVENUE
'C I LINE ALONG NORTH SIDE ROSEMARY LANE
'PVC LINE ALONG NORTH SIDE ROSEMARY LANE
'PVC LINE ALONG SOUTH SIDE MISON AVENUE
'' PVC LINE ALONG SOUTH SIDE BOUCHELLE AVENUE
'' PVC LINE ALONG SOUTH SIDE BOUCHELLE AVENUE

CONTO OF COLUMBIA WATER & LIGHT DEPARTMENT
P.O. BOX 6015
COLUMBIA, MISSOURI 65205
CONTACT: DAN CLARK 573-874-7738
AS SHOWN

S AMEREN MISSOURI 2001 MAGUIRE BOULEVARD COLUMBIA, MISSOURI 55201 CONTACT: BRUCE DARR 573-876-JOJO 2° PLASTIC ALONG SOUTH SIDE UNIVERSITY AVENUE WEST OF COLLEGE AVENUE.

OF COLLEGE AVENUE

\*\*PLASTIC ALONG NORTH SIDE UNIVERSITY AVENUE
EAST OF COLLEGE AVENUE

\*\*PLASTIC ALONG WEST SIDE COLLEGE AVENUE

\*\*PLASTIC ALONG SOUTH SIDE ROSEMARY LANE

\*\*PLASTIC ALONG SOUTH SIDE MULSON AVENUE

\*\*PLASTIC ALONG NORTH SIDE BOUGHELE AVENUE

\*\*PLASTIC ALONG RAST SIDE COLLEGE AVENUE SOUTH
OF MUSON AVENUE AND NORTH OF BOUCHELE AVENUE

6\*\* CI ALONG WEST SIDE COLLEGE AVENUE (ABANDONED)



TOP OF CURB ELEVATION
TOP OF PAVEMENT ELEVATION

PROPOSED UNDERGROUND ELECTRIC PROPOSED UNDERGROUND FIBER OF

PARCEL ID NUMBER

FINISH GRADE ELEVATION

TELEPHONE
CENTURYLINK
625 E. CHERRY STREET
COLUMBIA, MISSOURI 55201
CONTACT: TIM DISHMAN 573-886-3505
AS SHOWN

TELEVISION

MEDIACOM
901 N. COLLEGE AVENUE

SANITARY SEWER

NITARY SEMER
CITY OF COLUMBIA PUBLIC WORKS DEPARTMENT
P.O. BOX 5015
COLUMBIA, MISSOURI 65205
CONTACT: STEVE HUNT 573-874-7250

STORM SEWER
CITY OF COLUMBIA PUBLIC WORKS DEPARTMENT
P.O. BOX 5015
COLUMBIA, MISSOURI 55205
CONTACT: TOM WELLMAN 573-B74-7250
AS SHOWN

DOT - DISTRICT 5
P.O. BOX 718
1311 MISSOURI BLO.
EFFERSON CITY, MISSOURI 65102
CONTACT: MICK SCHUPP 850-882-3197
CONTACT: MICK SCHUPP 850-882-3197
STORM SEWRES ALONG COLLEGE AVENUE
UE TO TRAFFIC SIGNALS ALONG COLLEGE AVENUE

UNIVERSITY OF MISSOURI FNERGY MANAGEMENT OFFICE ENERGY MANAGEMENT OFFICE 417 SOUTH FIFTH STREET COLUMBIA, MISSOURI 55211 CONTACT: 573-882-3094 ELECTRIC, STEAM, AND WATER AS SHOWN

TELECOMMUNICATIONS

COMMUNICATIONS
T2 GENERAL SERVICES BUILDING
COLUMBIA, MISSOURI 65211
CONTACT: MIKE ANDERSON 573-884-6703
UNDERGROUND FIBER OPTIC ALONG EAST SIDE
OF COLLEGE AVENUE

# City of Columbia, Missouri

# **Department of Public Works**



# RIGHT-OF-WAY PLANS FOR PROPOSED **COLLEGE AVENUE SAFETY ENHANCEMENT PROJECT**

FEDERAL I.D. NO. STP 2100(522) MISSOURI ROUTE 763 FROM ROLLINS STREET TO UNIVERSITY AVENUE COLUMBIA, MISSOURI



#### BENCH MARK

USCGS BRASS PLATE, STAMPED "UNIVERSITY OF MISSOURI" – 1935, IN CONCRETE POST LOCATED AT SOUTH SIDE OF CIRCLE DRIVE WHICH IS NORTH OF THE COLUMNS. (DUE TO CONSTRUCTION IN THIS AREA IN 2005, THIS BENCH MARK HAS BEEN MOVED.)

TBM - CHISELED SQUARE ON THE WEST SIDE OF THE SIGNAL POLE BASE LOCATED ON THE NORTHEAST CORNER OF COLLEGE AVENUE AND ROLLINS STREET. ELEVATION = 762.18

TBM - CHISELED SQUARE IN THE EAST SIDE OF LIGHT STANDARD BASE LOCATED 41

FEET SOUTH OF UNIVERSITY AVENUE AND 53' WEST OF COLLEGE AVENUE. ELEVATION = 778.18

#### SURVEY CONTROL POINTS

POINT #	NORTH	EAST	ELEVATION	DESCRIPTIO
CP175	1133065.90	1690997.99	783.53	DRILL HOL
CP190	1132712.39	1590993.51	781.71	DRILL HOL
CP1216	1132480.49	1691060.80	773.62	DRILL HOL
CP2013	1133392.62	1591077.73	780.71	DRILL HOL
CP2251	1131939.95	1690987.08	751.23	DRILL HOL
CP2252	1132018.79	1690971.22	761.11	MAG NAIL
CP2495	1131926.82	1691077.95	761.90	DRILL HOL
CP2579	1131992.28	1691076.73	761.66	DRILL HOL

#### SHEET INDEX

CIVIL	
CO.01	COVER
C1.01-C1.04	RIGHT-OF-WAY PLAN
C1.05-C1.08	ROAD PLANS
C1.09	CROSSWALK DETAIL PLAN
C2.01-C2.04	EROSION CONTROL AND PAVEMENT MARKING PLAN
C4.01-C4.02	DETAILS
LANDSCAPE	
L5.02	LANDSCAPE PLAN
TRAFFIC	
T1.01-T1.02	TRAFFIC SIGNAL PLAN
STRUCTURAL	
\$1.01	CONCRETE MEDIAN 20" FENCE

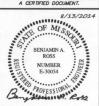
NOT FOR CONSTRUCTION



Structural Engineer EFK Moen, LLC 523 Barrett Parkway Dr., Suite 25

Louis, MO 63021 (314) 394-31

COLLEGE AVENUE SAFETY ENHANCEMENT PROJECT COLLEGE



AUGUST 13, 2014

Design: BR Drawn: RTM

COVER

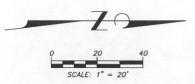
C0.01

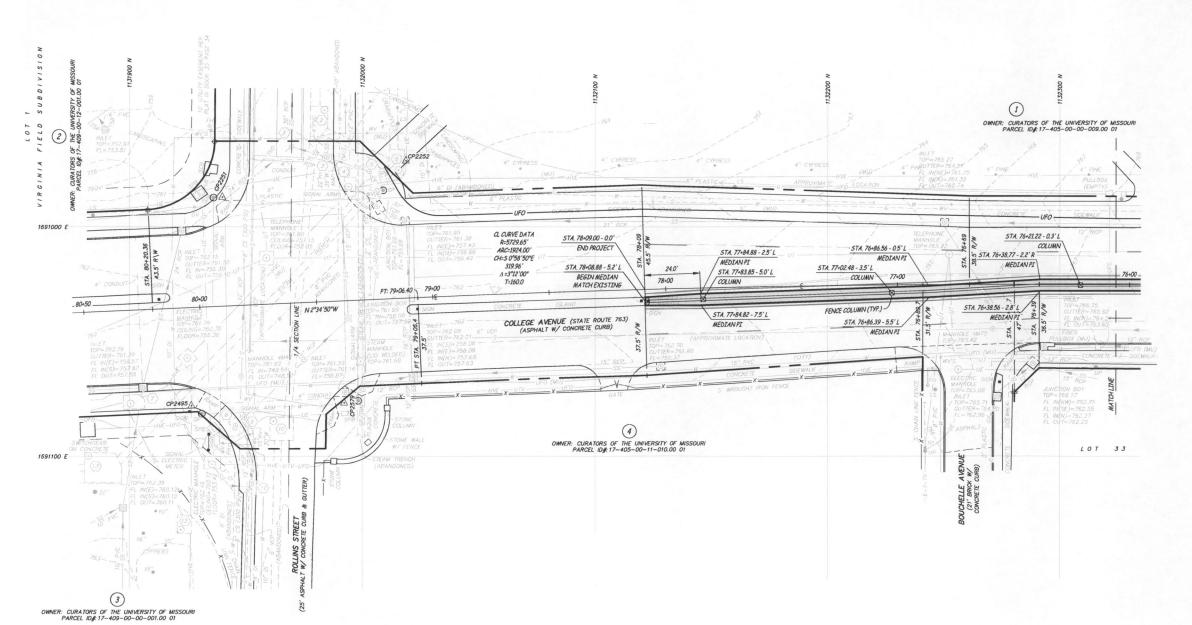
### WITNESSED LAND CORNER NOTE

IRON AT STA. 80+20.36 43.5 FEET RIGHT, BEING THE IRON LOCATED AT THE NORTH END OF THE EAST LINE OF VIRGINIA RIELD SUBDIMISION. LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18 THEN RIZW, AND RECORDED IN PLAT BOOK 35 PAGE 34. ACCEPTED BY TIMOTHY J. REED, PLS 2089.

#### TRAFFIC SIGNAL INTERCONNECT NOTE

- INSTALL NEW CONDUIT UNDER EXISTING SIDEWALK AND DRIVEWAYS USING ANY MODOT APPROVED TRENCHLESS METHOD OF THE EXISTING 6" ABANDONED GAS LINE ALONG THE WEST SIDE OF COLLEGE AVENUE. (IF USING GAS LINE CONTRACTOR SHALL PROVIDE A 2" CONDUIT INSIDE GAS LINE, ALL OPENINGS SHALL BE WATER TIOHT, TO BE COORDINATED WITH AMERIEN UE.)
- 2. REMOVE AND REPLACE EXISTING SIDEWALK AS REQUIRED. EXISTING SIDEWALK REPLACEMENT IS INCIDENTAL TO THE CONTRACT.
- INSTALL CONDUIT UNDER PUBLIC STREETS USING ANY MODOT APPROVED TRENCHLESS METHOD.



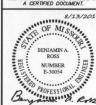




Structural Engineer EFK Moen, LLC

13523 Barrett Parkway Dr., Suite 250 tt. Louis, MO 63021 (314) 394-315.

COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEDERAL I.D. NO. STP 2100(522)
MISSOUR ROUTE 763 FROM
ROLLINS STREET TO UNIVERSITY A VENUE
COLUMBIA, MISSOURI



BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

AUGUST 13, 2014

Revised

Design: BR Drawn: RTM

RIGHT-OF-WAY PLAN

Sheet

C1.01 ES&S PROJECT NO. 12398

ADD ALTERNATE #1 1,250 SQ. FT. PREFORMED THERMOPLASTIC CROSSWALK BRICK PATTERN PAVEMENT MARKING MATERIAL. COORDINATE COLOR AND PATTERN WITH OWNER. 1 CURATORS OF THE UNIVERSITY OF MISSOURI

PERMANENT UTILITY EASEMENTS = 0.02 ACRE 81,454,904 S0. FT.

1 TEMPORARY CONSTRUCTION EASEMENTS = 0.14 ACRE 5,904 S0. FT.

REMAINING PARCEL = 33.40 ACRES 1,454,904 S0. FT. PHYSICS BUILDING
1 STORY STONE STA. 75+35.43 - 66.5' R 1 NOTE: CONTRACTOR TO MAINTAIN A 2 FOOT MIN, HORIZONTAL SEPARATION FROM ALL NEW STRUCTURES TO EXISTING 6" GAS LINE. STA. 74+15.43 - 66.5' R CHEMISTRY ADDITION 2 STORY STONE W/ BASEMENT STA. 74+73.44 - 51.5' R STA. 74+73.43 - 38.5' R - -13'x34' PUE - . . STA. 74+15.43 - 38.5' R 1591000 E STA. 75+35.43 - 38.5' R STA. 76+21.22 - 0.3' L STA. 74+72.39 - 0.1' L MEDIAN 2.5'R TCE STA. 75+14.92 - 0.0' L STA. 76+86.56 - 0.5' L STA. 76+38.77 - 2.2' R END WALL MEDIAN PI STA. 74+59.89 - 0.1' L STA. 75+39.90 - 0.0'L COLLEGE AVENUE (STATE ROUTE 763)
(51' ASPHAIT W/ CONCRETE CURB)
74+00 MEDIANPI 24.0' COLUMN BEGIN WALL STA. 75+85.32 - 2.5' L STA. 75+02.39 - 0.0' L STA. 76+38.56 - 2.8' L / MEDIANP 24.0' STA. 74+34.89 - 0.1' L FENCE COLUMN (TYP.) STA. 73+45.31 - 0.1'L STA. 72+55.72 - 0.2'L STA. 76+86.39 - 5.5' L COLUMN MEDIANPI STA. 73+70.38 - 36.5' L A WALL CONCRETE-STA. 75+35.38 - 36.5' L 10'x164' TCE STA. 75+35.30 - 46.5' L STA. 73+70.29 - 46.5' L LOT LOT LOT 3 2 LOT 31 LOT 33 BO UCHELLE'S ADDITI 1591100 F BOUCHELLE'S ADDITION CHRISTIAN CAMPUS HOUSE 704 COLLEGE AVENUE 2 STORY BRICK 9 CHRISTIAN
CAMPUS HOUSE
700 COLLEGE AVENUE
2 STORY BRICK CHRISTIAN
CAMPUS HOUSE
60B COLLEGE AVENUE
2 STORY BRICK
W/ BASEMENT W/ BASEMENT CHRISTIAN CAMPUS HOUSE 704 COLLEGE AVENUE 1 STORY BRICK SIGMA NU 710 COLLEGE AVENUE 3 STORY BRICK W/ BASEMENT 7 OWNER: CHRISTIAN CAMPUS HOUSE
PARCEL 10#:17-405-00-23-022.00 01 OWNER: CHRISTIAN CAMPUS HOUSE INC.
PARCEL 10#:17-405-00-23-021.00 01 (5) OWNER: CHRISTIAN CAMPUS HOUSE INC. PARCEL ID#:17-405-00-23-023.00 01 OWNER: RHO CHAPTER OF SIGMA NU CORP PARCEL ID#:17-405-00-23-024.00 01 6 CHRISTIAN CAMPUS HOUSE INC.
TOTAL PARCEL = 1,32 ACRES 57,400 SQ. FT.
TEMPORARY CONSTRUCTION EASEMENTS = 0,04 ACRE 1,640 SQ. FT.
REMAINING PARCEL = 1,32 ACRE 57,400 SQ. FT. NOT FOR CONSTRUCTION

Structural Engineer EFK Moen, LLC

13523 Barrett Parkway Dr., Suite 250 t. Louis, MO 63021 (314) 394-3152

COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEBERAL I.D. NO. STP 2100/523
MISSOURI ROUTE 763 FROM
ROLLINS STREET TO UNIVERSITY AVENUE
COLUMBIA, MISSOURI

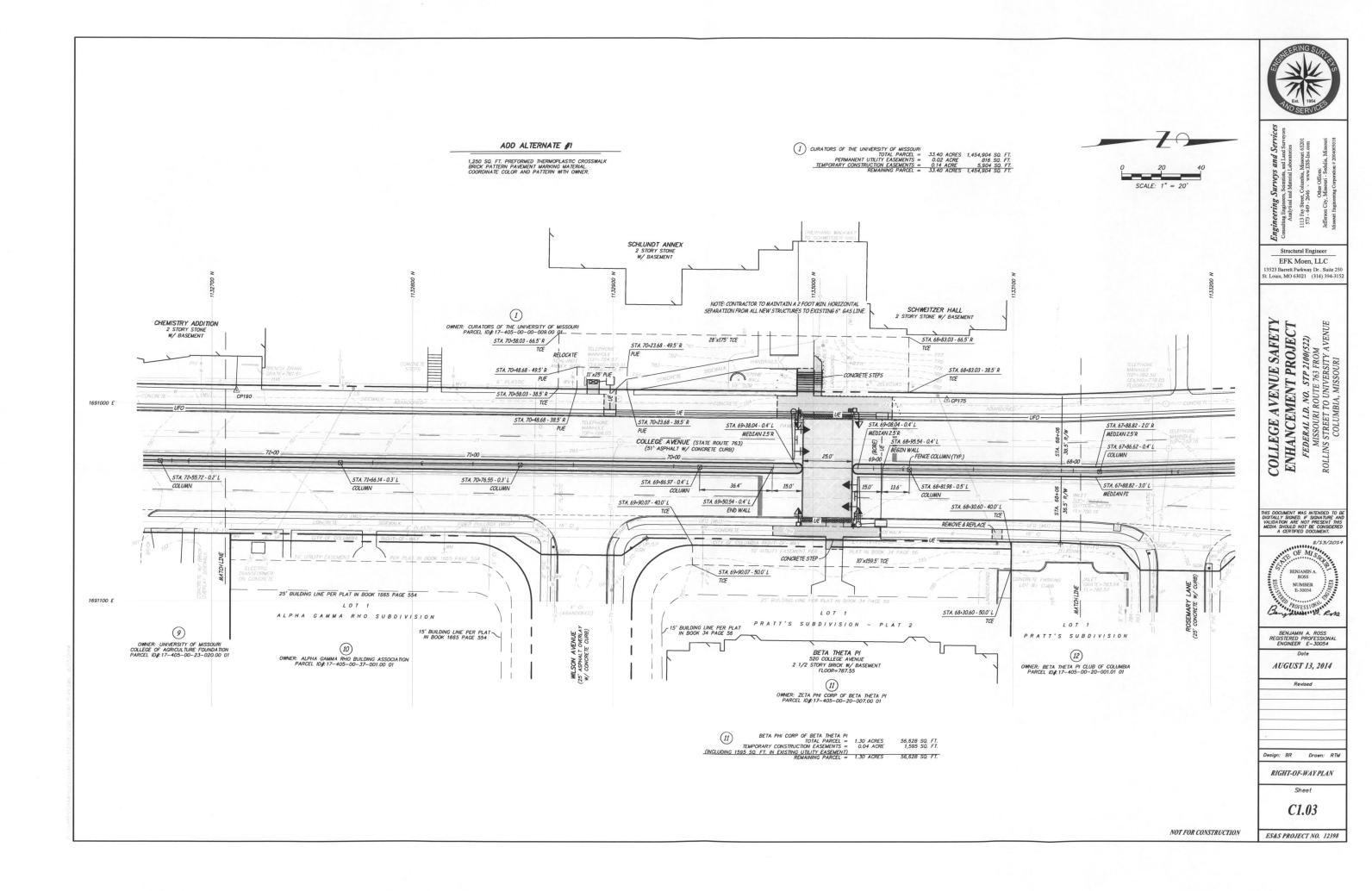
BENJAMIN A. ROSS NUMBER E-30054

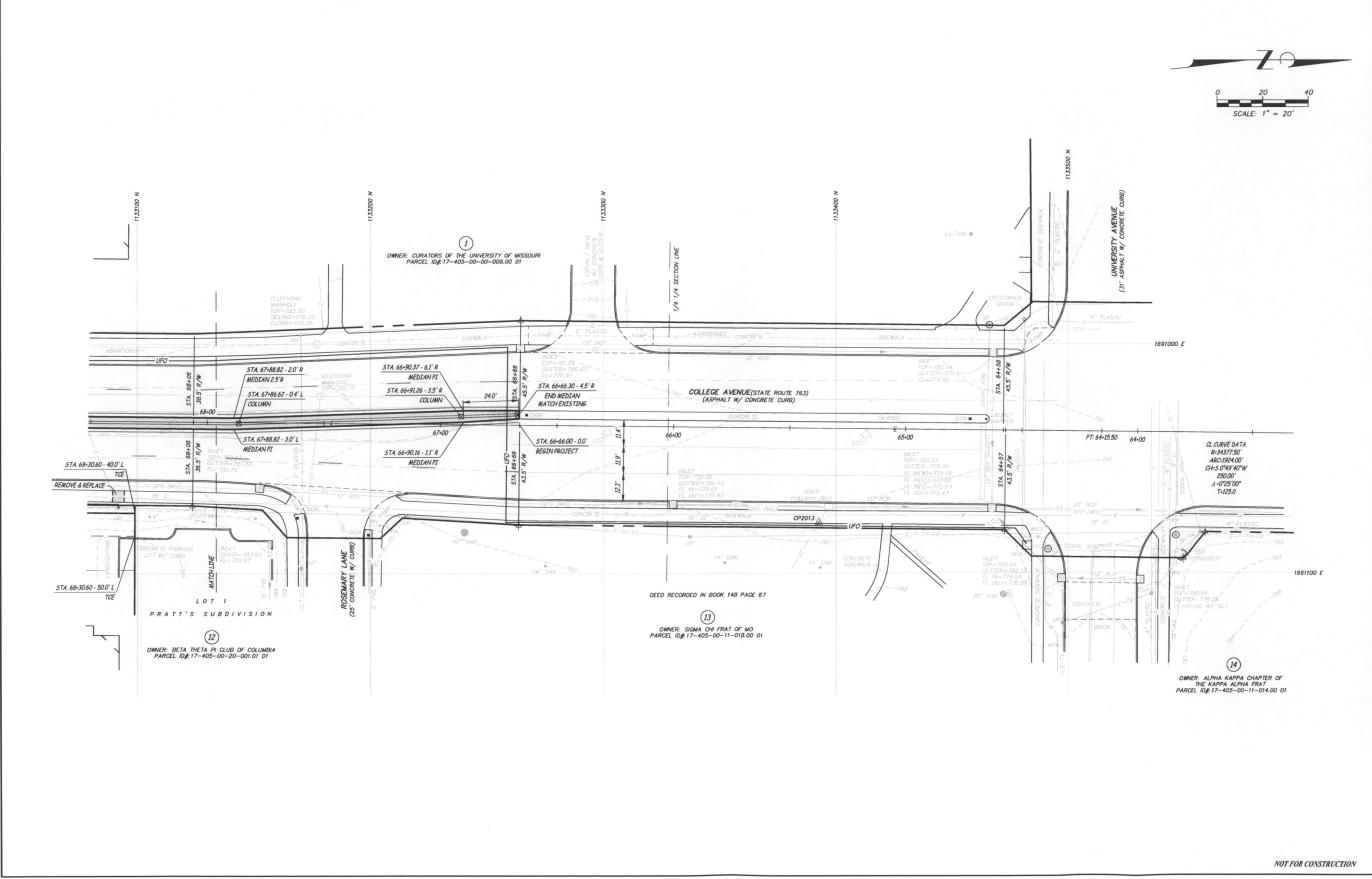
BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

AUGUST 13, 2014

Design: BR Drawn: RTM RIGHT-OF-WAY PLAN

C1.02





13523 Barrett Parkway Dr., Suite 250 St. Louis, MO 63021 (314) 394-3152

COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEDERAL I.D. NO. STP 2108/522
MISSOURI ROUTE 763 FROM
ROLLINS STREET TO UNIVERSITY AVENUE
COLUMBIA, MISSOURI



BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

AUGUST 13, 2014 Revised

Design: BR Drawn: RTM RIGHT-OF-WAY PLAN

Sheet

C1.04

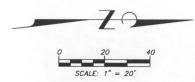
#### WITNESSED LAND CORNER NOTE

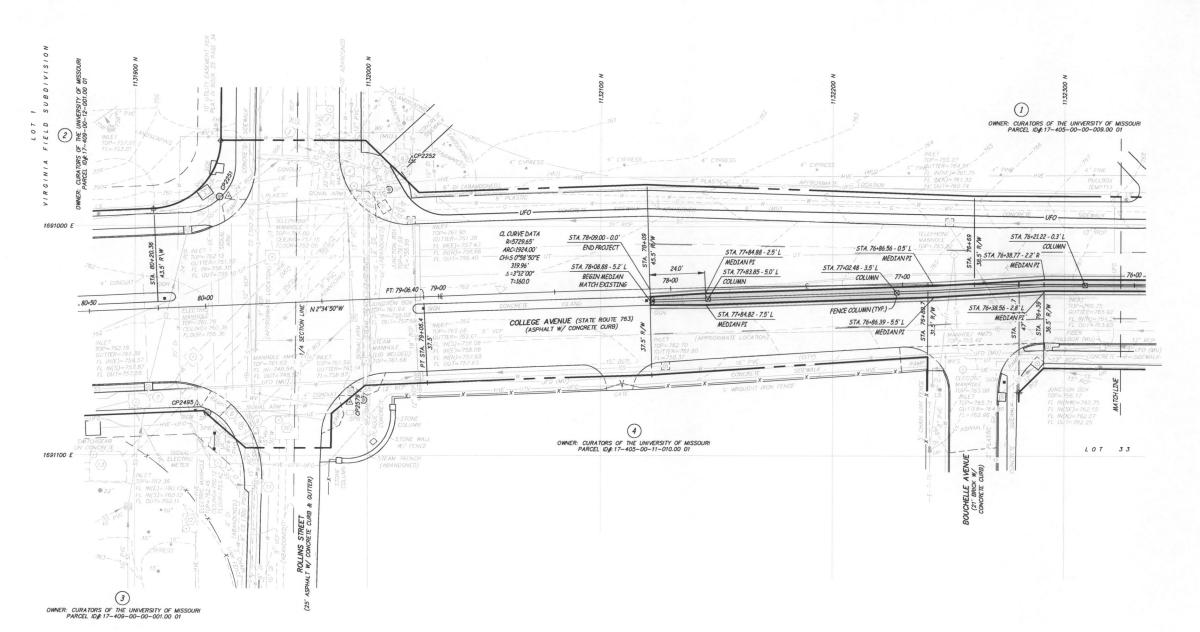
IRON AT STA. 80+20.36 43.5 FEET RIGHT, BEING THE IRON LOCATED AT THE NORTH END OF THE EAST LINE OF VIRGINIA FIELD SUBDIVISION. LOCATED IN THE SOUTHWEST OUARTER OF SECTION 10 THAN RIZW, AND RECORDED IN PLAT BOOK 35 PAGE 34. ACCEPTED BY TIMOTHY J. REED, PLS 2089.

#### TRAFFIC SIGNAL INTERCONNECT NOTE

- 1. INSTALL NEW CONDUIT UNDER EXISTING SIDEWALK AND DRIVEWAYS USING ANY MODOT APPROVED TRENCHLESS METHOD OR THE EXISTING 6" ABANDONED GAS LINE ALONG THE WEST SIDE OF COLLEGE AVENUE.

  (IF USING GAS LINE CONTRACTOR SHALL PROVIDE A 2" CONDUIT INSIDE GAS LINE, ALL OPENINGS SHALL BE WATER TIGHT, TO BE COORDINATED WITH AMEREN UE.)
- 2. REMOVE AND REPLACE EXISTING SIDEWALK AS REQUIRED. EXISTING SIDEWALK REPLACEMENT IS INCIDENTAL TO THE CONTRACT.
- 3. INSTALL CONDUIT UNDER PUBLIC STREETS USING ANY MODOT APPROVED TRENCHLESS METHOD.







g Engineen, Scientists, and Land Survoyes anytical and Material Laboratories anytical and Material Laboratories Fey Street, Columbia, Missouri (520) 1-449 - 2646 - www.ESS-Inc.com Other Offices.

Structural Engineer

EFK Moen, LLC
3523 Barrett Parkway Dr., Suite 25
Louis. MO 63021 (314) 394-315

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COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEDERAL I.D. NO. STP 2100/52)
MISSOURI ROUTE 763 FROM
ROLLINS STREET TO UNIVERSITY AVENUE
COLUMBIA, MISSOURI

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BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

AUGUST 13, 2014

Revised

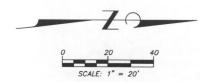
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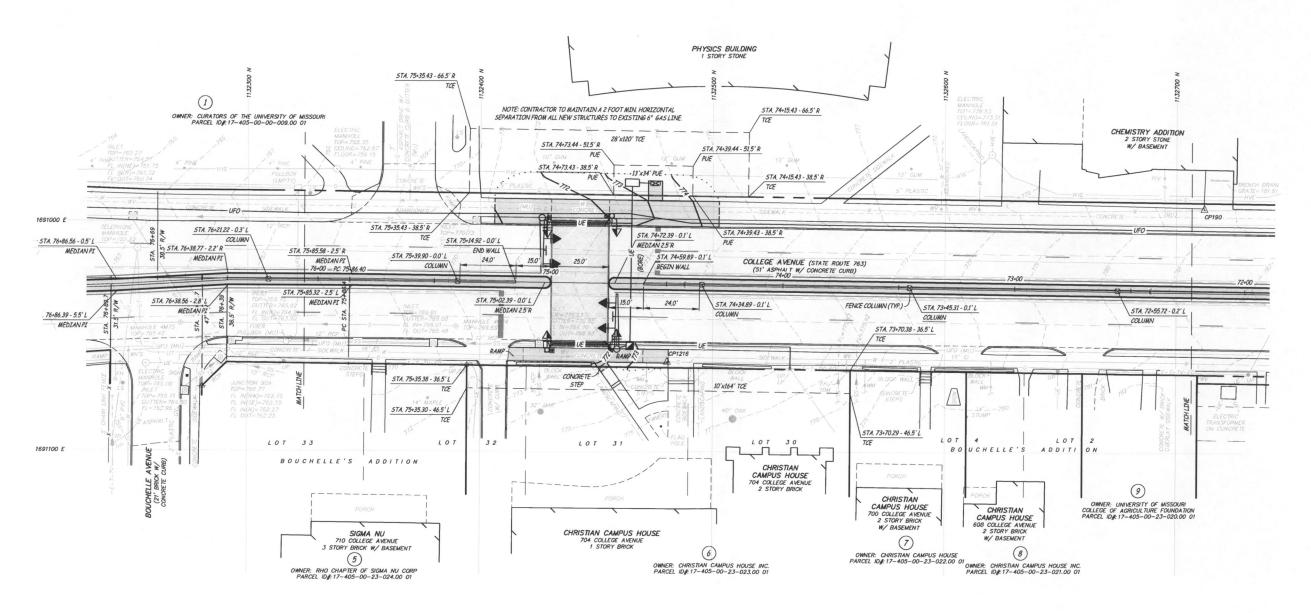
ROAD PLAN

Sheet C1.05

ES&S PROJECT NO. 12398

ADD ALTERNATE #1 1,250 SQ. FT. PREFORMED THERMOPLASTIC CROSSWALK BRICK PATTERN PAVEMENT MARKING MATERIAL. COORDINATE COLOR AND PATTERN WITH OWNER.





6 CHRISTIAN CAMPUS HOUSE INC.
TOTAL PARCEL = 1,32 ACRES 57,400 SQ. FT.
TEMPORARY CONSTRUCTION EASEMENTS = 0,04 ACRE 1,840 SQ. FT.
REMAINING PARCEL = 1,32 ACRE 57,400 SQ. FT.

Structural Engineer EFK Moen, LLC

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COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEDERAL I.D. NO. STP 2100(52)
MISSOURI ROUTE 763 FROM
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Date AUGUST 13, 2014

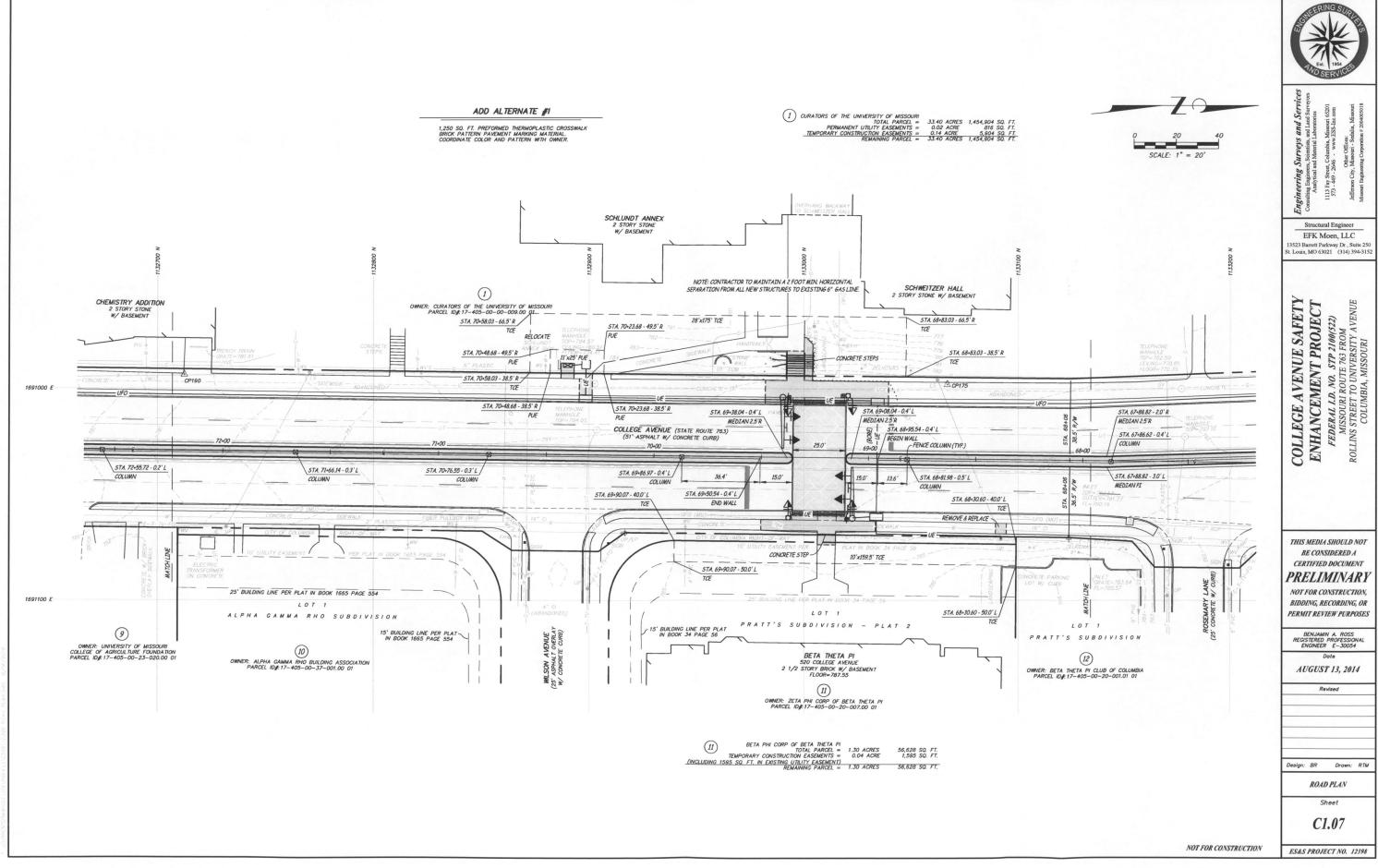
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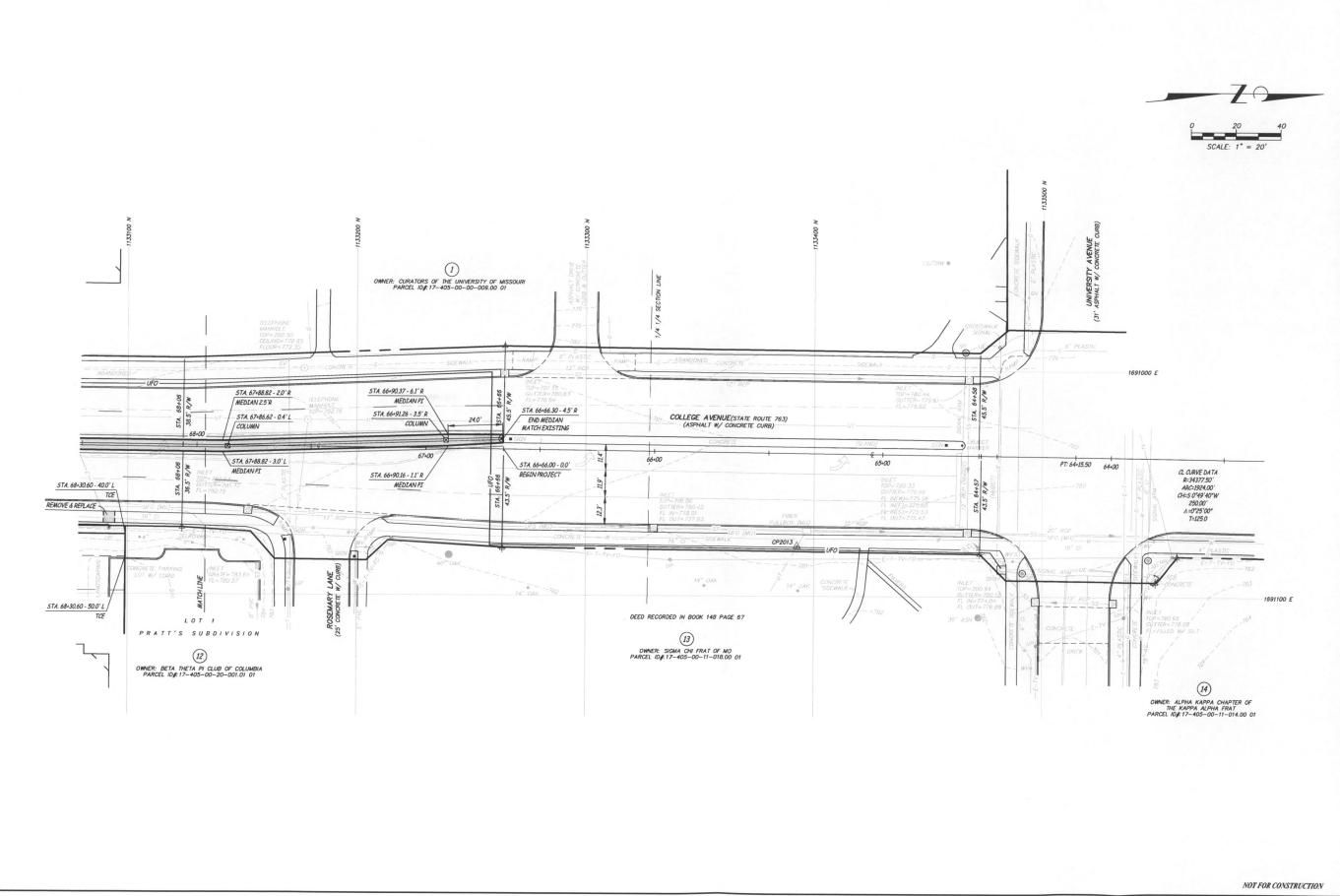
ROAD PLAN

Sheet

C1.06

ES&S PROJECT NO. 12398







Structural Engineer

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COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEDERAL I.D. NO. STP 2100(522)
MISSOURI ROUTE 763 FROM
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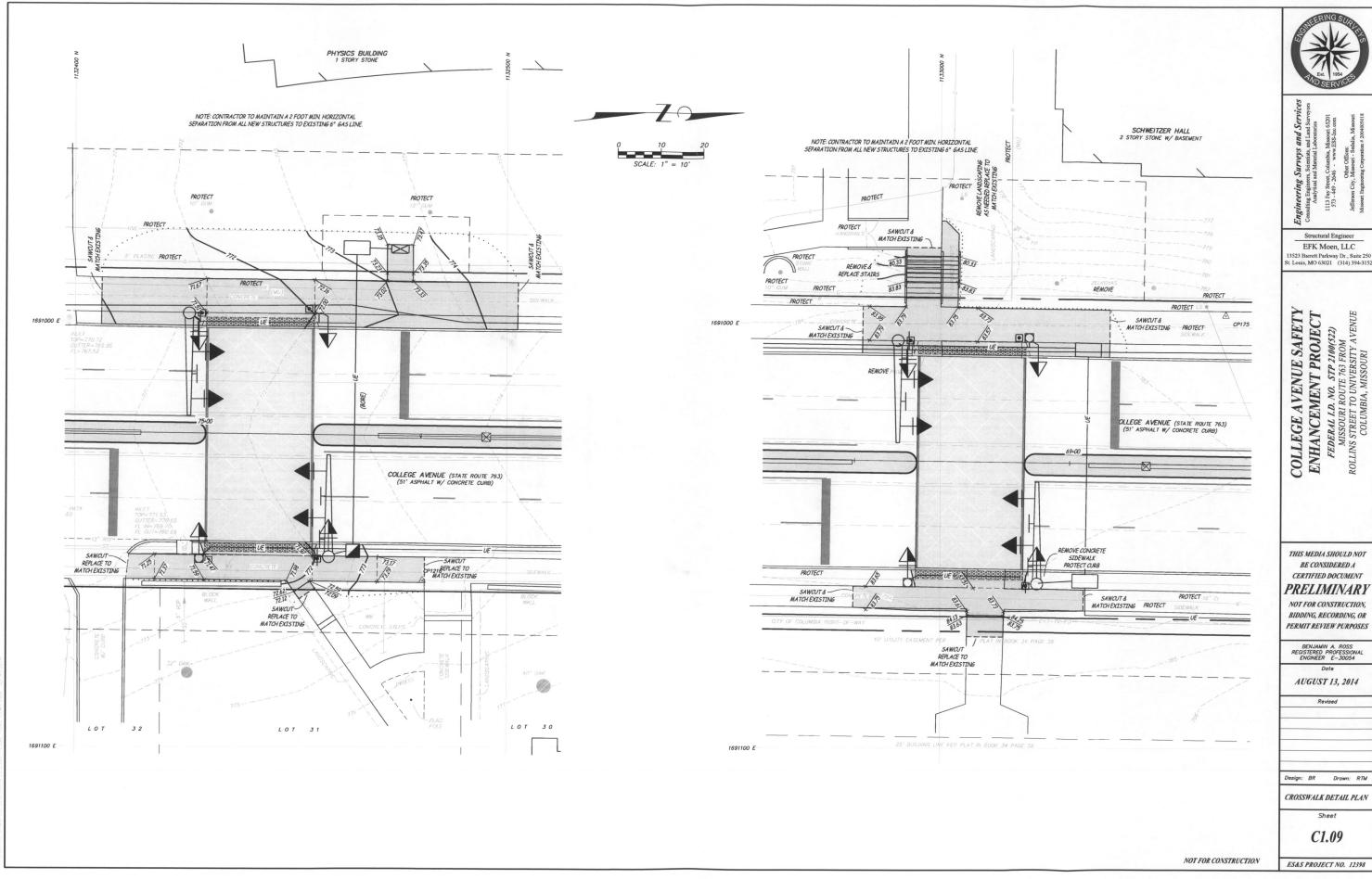
BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

AUGUST 13, 2014 Revised

Drawn: RTM Design: BR

ROAD PLAN Sheet

C1.08





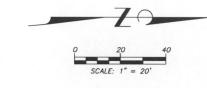
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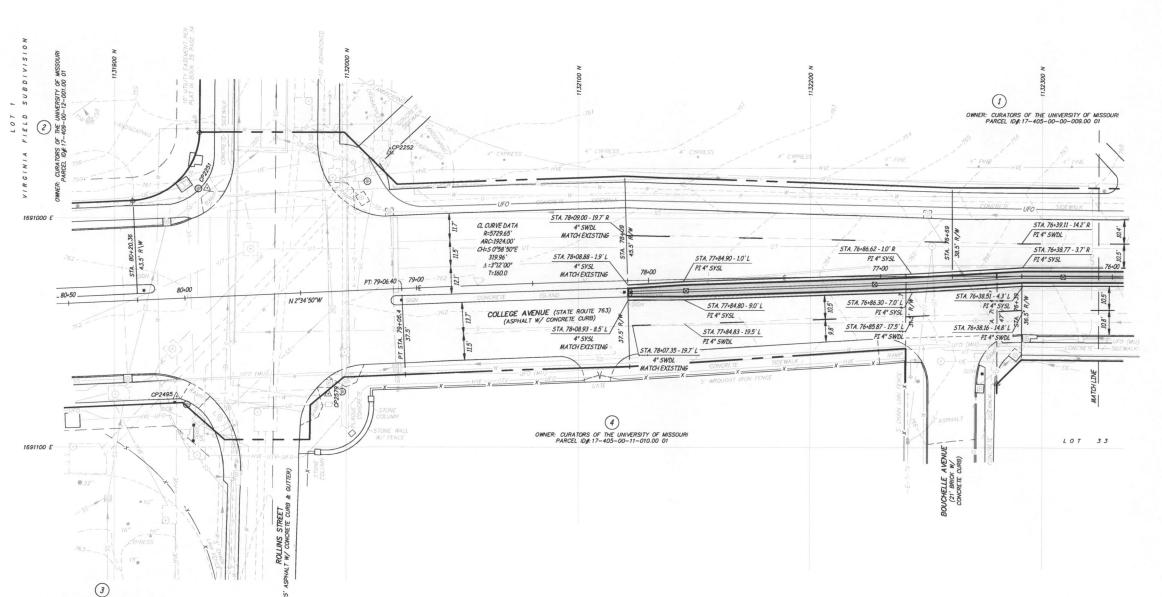
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CROSSWALK DETAIL PLAN







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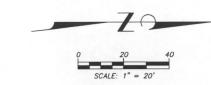
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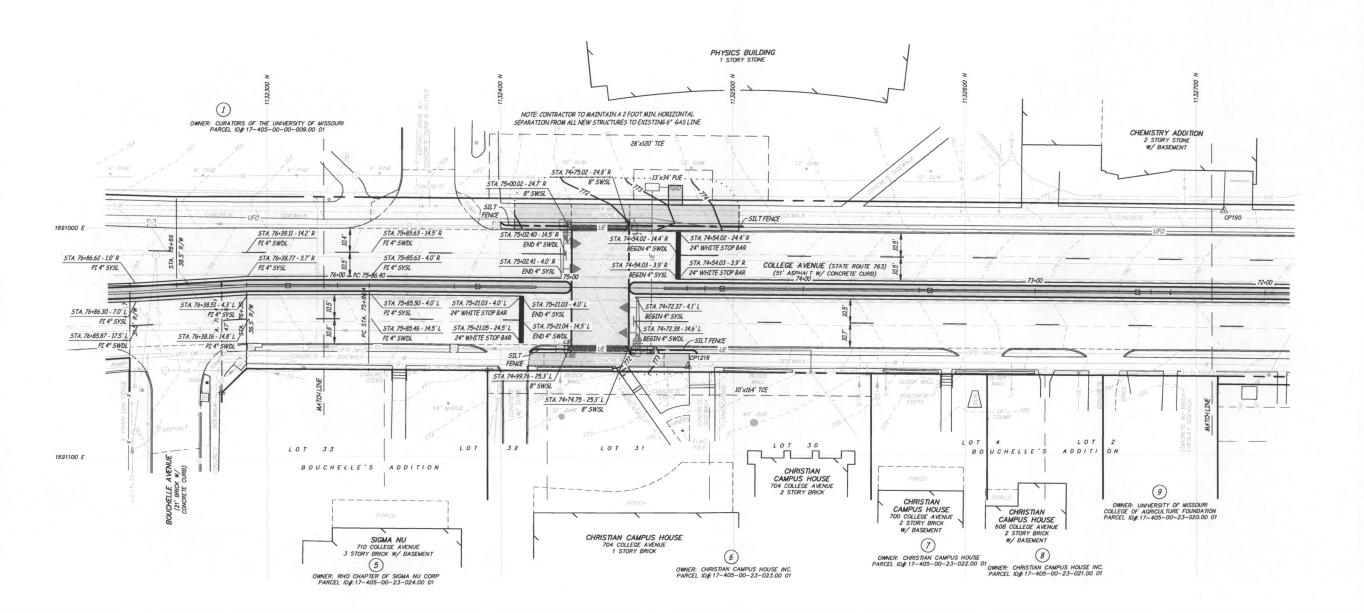
BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

AUGUST 13, 2014

Design: BR Drawn: RTM EROSION CONTROL AND PAVEMENT MARKING PLAN

C2.01ES&S PROJECT NO. 12398







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COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEDERAL I.D. NO. STP 2100(522)
MISSOURI ROUTE 763 FROM
ROLLINS STREET TO UNIVERSITY A VENUE
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PERMIT REVIEW PURPOSES BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

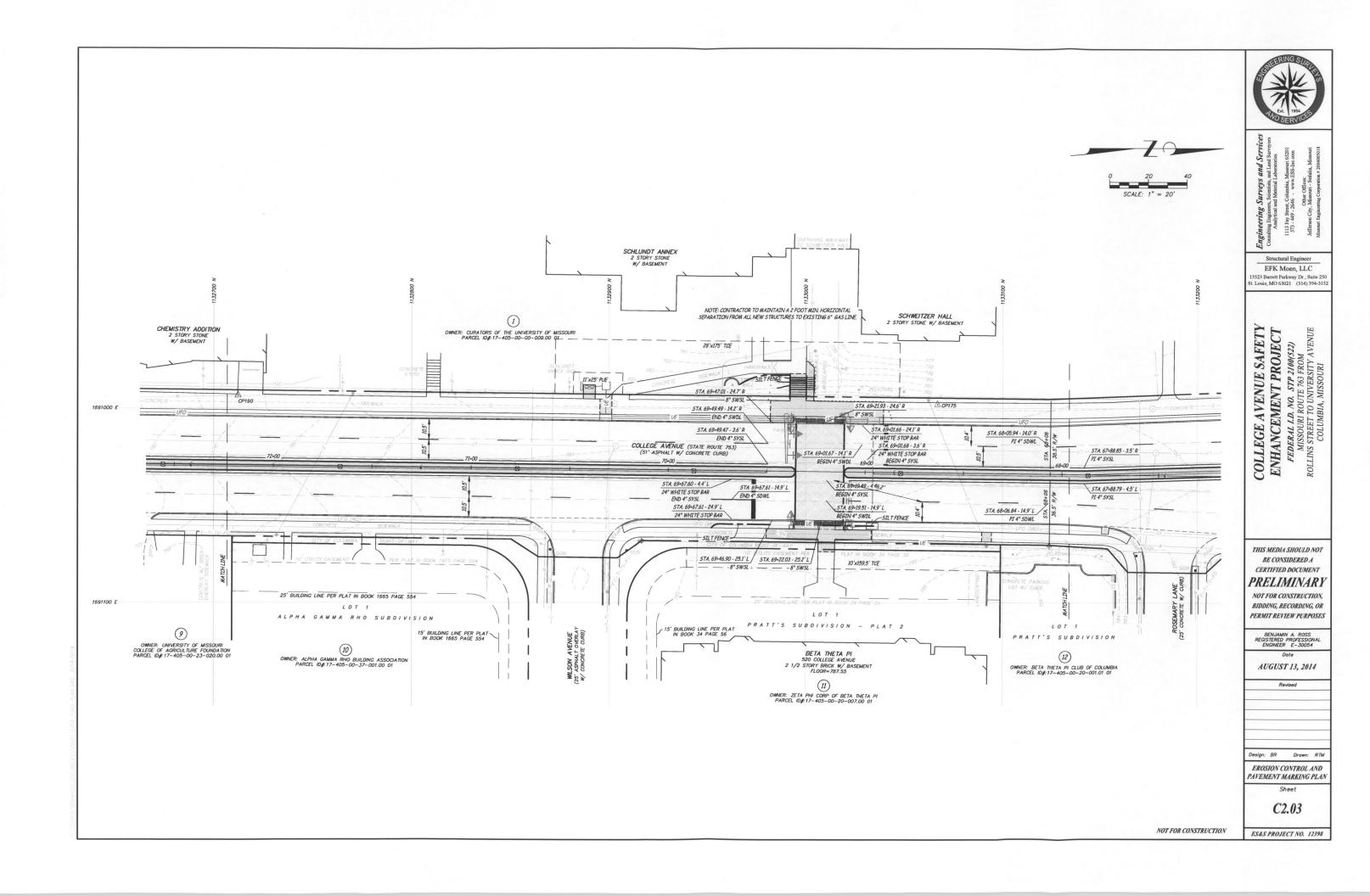
AUGUST 13, 2014

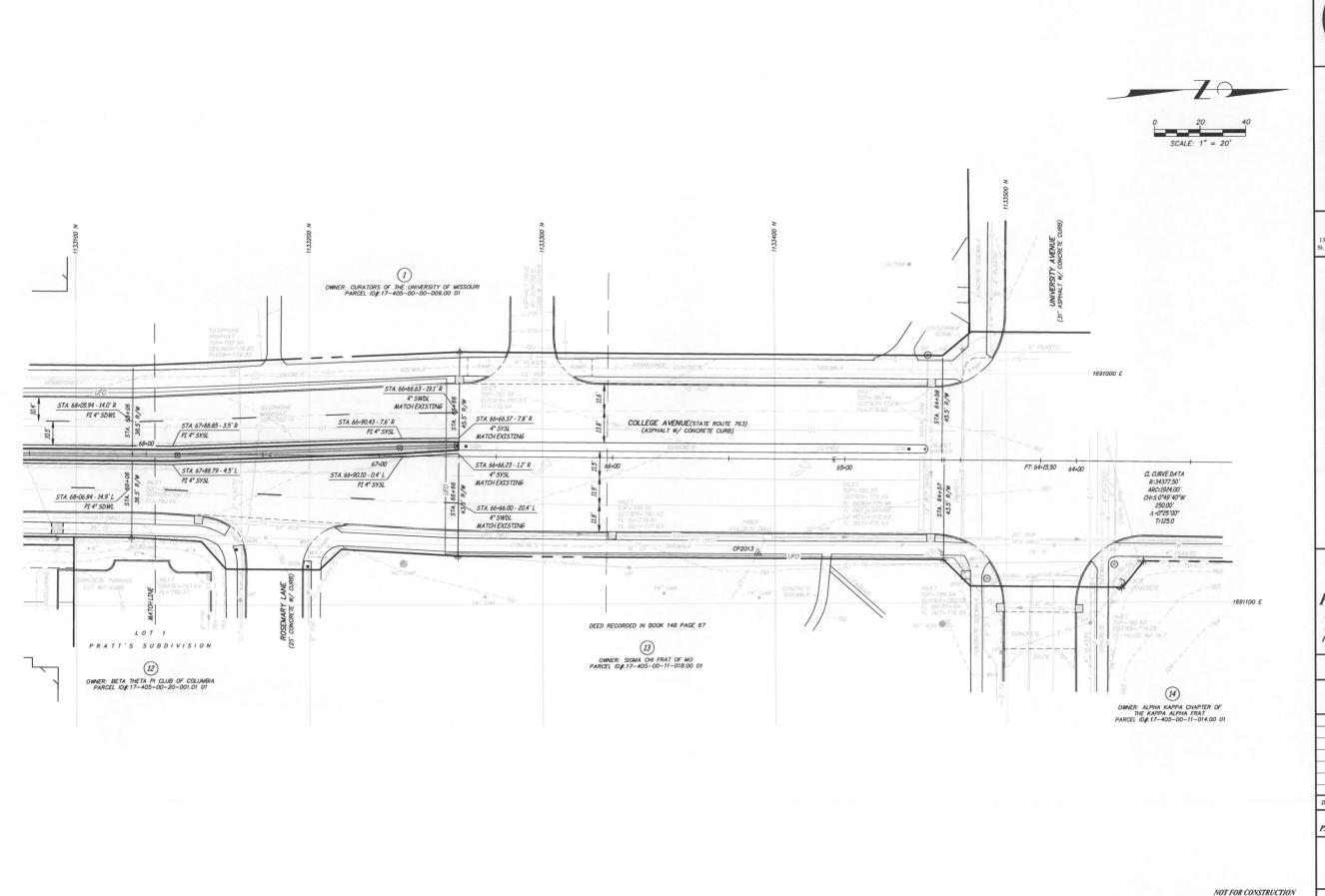
Design: BR Drawn: RTM EROSION CONTROL AND

PAVEMENT MARKING PLAN

C2.02

ES&S PROJECT NO. 12398





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Engineering Surveys and Service Consuling Engineer, Scientists, and Land Surveyors Analytical and Material Laboratories 11113 Fty Street, Columbia, Missouri 65201 573 - 449 - 2546 - www.ESS-lac.com

Structural Engineer
EFK Moen, LLC
523 Barrett Parkway Dr., Suite

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COLLEGE AVENUE SAFETY
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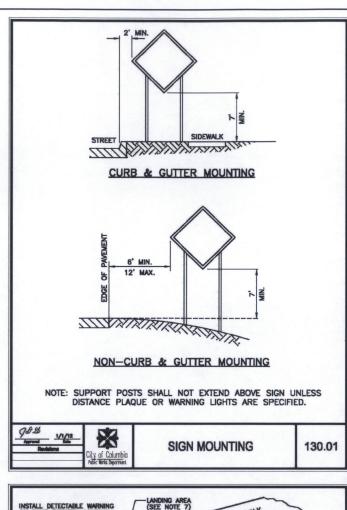
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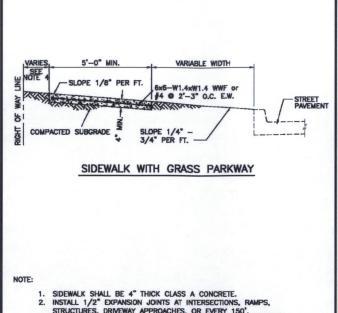
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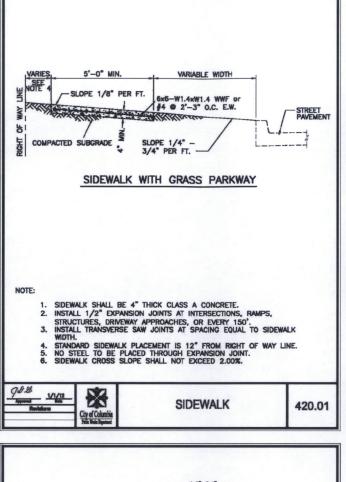
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EROSION CONTROL AND PAVEMENT MARKING PLAN

Sheet C2.04







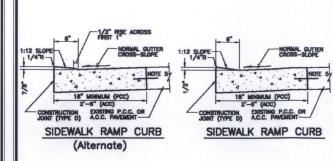
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#### PCC PAVEMENT NOTES:

- CONCRETE SHALL BE CLASS A.
- PAVEMENT THICKNESS SHALL MATCH EXISTING.
  BASE SHALL MATCH EXISTING
  BASE SHALL MATCH EXISTING
  DEPAISION JOINTS AND CONTRACTION JOINTS
  SHALL BE PLACED AT LOCATIONS SIMILAR TO THE
  PAVEMENT WHICH WAS REMOVED.
- CURB EDGE SHALL BE TOOLED WITH 1/4" RADIUS WHERE EXISTING PAVEMENT IS P.C.C., LOW CURB REPLACEMENT SHALL BE DOWELLED INTO EXISTING. 12" LONG #4 BARS AT 24" CTR.

#### ACC PAVEMENT NOTES:

- 1. CONCRETE SHALL BE CLASS A.
- 2. GUTTER THICKNESS SHALL MATCH EXISTING, BASE SHALL MATCH EXISTING 3. EXPANSION JOINTS AND CONTRACTION JOINTS SHALL BE PLACED AT LOCATIONS SIMLAR TO THE CURB AND GUTTER WHICH WAS REMOVED
- 4. CURB EDGE SHALL BE TOOLED WITH 1/4"

Approved 1/1/12 X

**CURB DETAILS** (Sidewalk Ramp)

400.01



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0

ADA SOLUTIONS 24RADREPBR OR APPROVED EQUAL WITH DETAIL 430.02, 432.02, AND 1000.08.

4. DOWNTOWN DETECTABLE WARNINGS MAY BE ADA 2004 COMPLIANT DETECTABLE WARNING PAVERS.

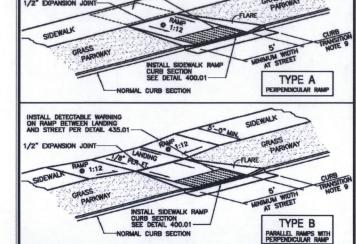
5. DETECTABLE WARNING PLATS ARE TO BE COLONIAL OR BRICK RED IN COLOR OR APPROVED EQUAL.

DETECTABLE WARNING SURFACES SHALE BE 24" WIDE AND EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA.

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- NOTE:

  1. RAMP SHALL BE 6" THICK CLASS A CONCRETE WITH #4 BARS AT 12" O.C. E.W.
  2. EXPANSION JOINT SHALL BE 1/2" PREFORMED CORK OR BITUMINOUS EXPANSION JOINT MATERIAL.
- 3. ALL SLOPES ARE MEASURED FROM THE HORIZONTAL. 4. REPLACE STANDARD CURB SECTION WITH SIDEWALK RAMP CURB SECTION - DETAIL 400,01
- 5. RAMP LENGTH IS DEPENDENT ON 1:12 MAX. SLOPE. USE FLATTER WHEN POSSIBLE.

  6. LANDING AREA AT TOP OF RAMP SHALL BE 4'-0" MIN WIDTH, CROSS SLOPE OF LANDING SHALL NOT EXCEED 2.00%.
- TYPE "A" RAMP NOT APPLICABLE IF PARKWAY WIDTH DOES NOT PROVIDE ENOUGH LENGTH FOR PERPENDICULAR RAMP AT 1:12 SLOPE.
- FLARES ARE REQUIRED AT RAMPS TO KEEP GRASS PARKWAY SLOPES IN CONFORMANCE WITH THE TYPICAL CROSS SECTION.
   CURB TRANSITION LEDIGH IS DEPENDENT ON FLARE SLOPE.



MIDBLOCK SIDEWALK RAMP Sidewalk with Grass Parkway

X

982

431.01

**DETECTABLE WARNING** 435.01 Gutterbuddy™ Specification

1.1 This work shall consist of furnishing, placing, maintaining and removing the Gutterbuddy 12 sediment control device as directed by the engineer and as shown on the contract drawings. The Gutterbuddy 22 sediment control system distributed by:

ACF Environmental, Inc.
2831 Cardwell Road
Bichman (1891).



The Gutterbuddy™ shall be synthetic filter manufactured

- 2.1.1 The Gutterbuddy<sup>™</sup> will be manufactured to be 9° in diameter and are available in 4, 6, 8°, 10°, 12°, 14° and 16° lengths and a minimum of twenty-four (24) inches longer than the curb inlet opening. This will allow for sufficient length to cover the inlet with twelve (12) inches beyond the inlet on both lend.

- 3.1.1 Install the Gutterbuddy™ in front of the curb inlet opening. Each end of the Gutterbuddy™ should

- 3.1.2 The Gutterbuddy™ should be cleaned if a visual inspection shows silt and debris build up around the Gutterbuddy™.
- 3.1.3 To remove the Gutterbuddy ", lift out of the
- 3.1.4 The Gutterbuddy<sup>TM</sup> is reusable. Once the construction project is complete and it is no longer needed for sediment control, remove, clean and store out of
- 3.1.5 Ponding is likely if sediment is not removed regularly. Inspection of Gutterbuddy™ should be on a regular basis and immediately after major rain
- 4.0 Basis of Payment
- 4.1 The payment for any Gutterbuddy<sup>TM</sup> used during the construction is to be included in the bid of the overall erosion and sediment control plan and priced by the linear foot.



-		
1		

**ACF Environmental** "Complete Source for Storm Water Solo





Richmond, Virginia 23234 (800) 448-3636 • FAX (804) 743-7779

NOT FOR CONSTRUCTION

Structural Engineer EFK Moen, LLC 523 Barrett Parkway Dr., Suite 25 t. Louis, MO 63021 (314) 394-31

COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEDERAL I.D. NO. STP 2100(522)
MISSOURI ROUTE 763 FROM
ROLLINS STREET TO UNIVERSITY A VENUE
COLUMBIA, MISSOURI

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BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

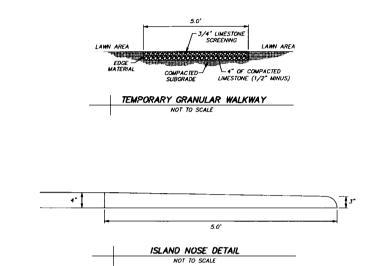
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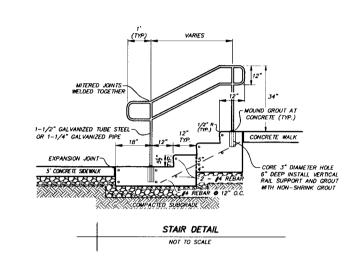
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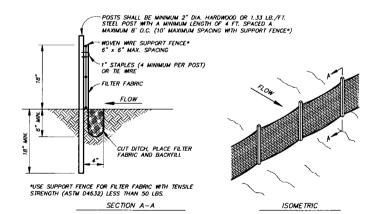
DETAILS

Sheet

C4.01







NOTES:

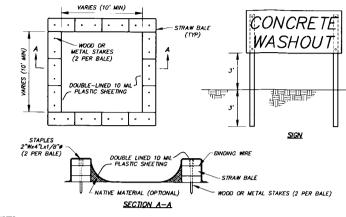
1. CONTRACTOR SHALL INSTALL SILT FENCE AT TOE OF SLOPES OF ALL AREAS AFFECTED BY CONSTRUCTION PRIOR TO ANY DISTURBANCE ON THE SITE.

2. SILT FENCE SHALL REMAIN INTIL. WEGETATION HAS BEEN ESTABLISHED ON DISTURBED AREAS.

3. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEICHT OF THE FENCE.

THE FENCE.
SILT FENCES SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO VERBY THE FABRIC IS
SECURELY ATTACHED TO THE POSTS, THE POSTS ARE SECURELY IN THE GROUND, AND THE FABRIC IS
SECURELY MIDEODED IN THE GROUND TO PREVENT RUNDF FROM COND UNDER ANY PART OF THE FENCE.
CONTRACTOR SHALL REMOVE ALL SILT FENCES WHEN ALL DISTURBED AREAS ARE COVERED WITH A MINIMUM
BOX MECETATION. SEED AND MILLCH ALL AREAS DISTURBED OURING REMOVAL.

SILT FENCE DETAIL



NOTES:

1. ALL CONCRETE WASTE MATERIAL, INCLUDING WASHOUT WATER, SHALL BE TOTALLY CONTAINED.

2. SEE SWPPP FOR MORE DETAILS.

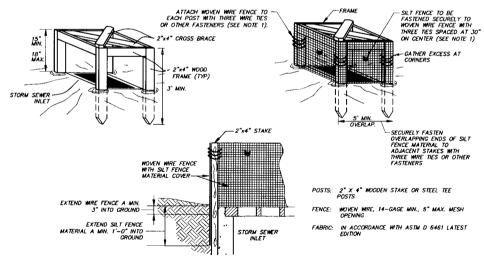
3. UPON PROJECT COMPLETION CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONCRETE WASTE FROM THE OWNER'S PROPERTY PER ALL APPLICABLE SOLU WASTE REQUIATIONS.

4. CONSTRUCT SION OF WEATHER PROOF MATERIALS OF A SIZE EASILY READABLE BY CONCRETE TRUCK DRIVERS. PLACE

SIGN WITHIN 10' OF WASHOUT.
5. CONTRACTOR SHALL CONTAIN WASHOUT WATERS AT ALL TIMES.

CONCRETE WASHOUT AREA

NOT TO SCALE



1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP B" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, MITH EACH PUNCTURE AT LEAST I" VERTICALLY APART.

2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERTAPPED ACROSS TWO POSTS.

3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCRED ONE—THIRD THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANING MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE—THIRD THE HEIGHT OF THE SILT FENCE MATERIAL.

4. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT.

#### SILT FENCE INLET PROTECTION

NOT TO SCALE

Structural Engineer EFK Moen, LLC

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COLLEGE AVENUE SAFETY
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MISSOURI ROUTE T63 FROM
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BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054

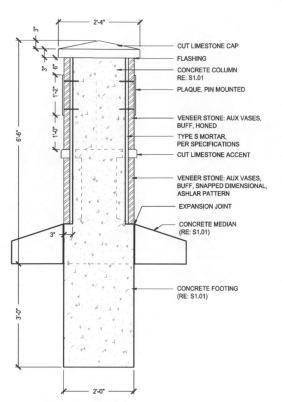
AUGUST 13, 2014

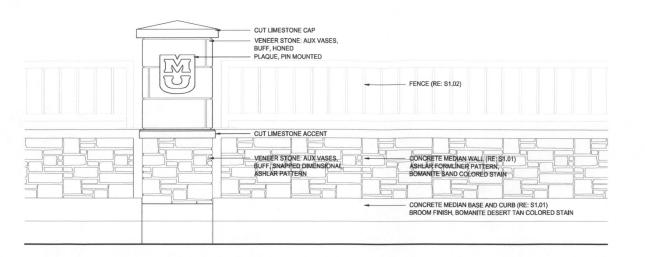
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> DETAILS Sheet

C4.02

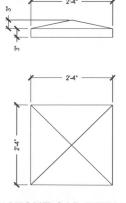
ES&S PROJECT NO. 12398



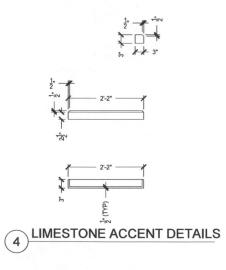


**COLUMN SECTION** 

2 COLUMN ELEVATION & MEDIAN FINISHES



3 LIMESTONE CAP DETAILS



¥ 1'-0" → PLAQUE 1/4" DIAM. X 5" LENGTH WELDED DOWELS (TYP. OF 6)

5 PLAQUE DETAIL



Landscape Architect Landworks Studio, LLC 103 S. Chestnut Street Olathe, KS 66061 (913) 780-6707

COLLEGE AVENUE SAFETY
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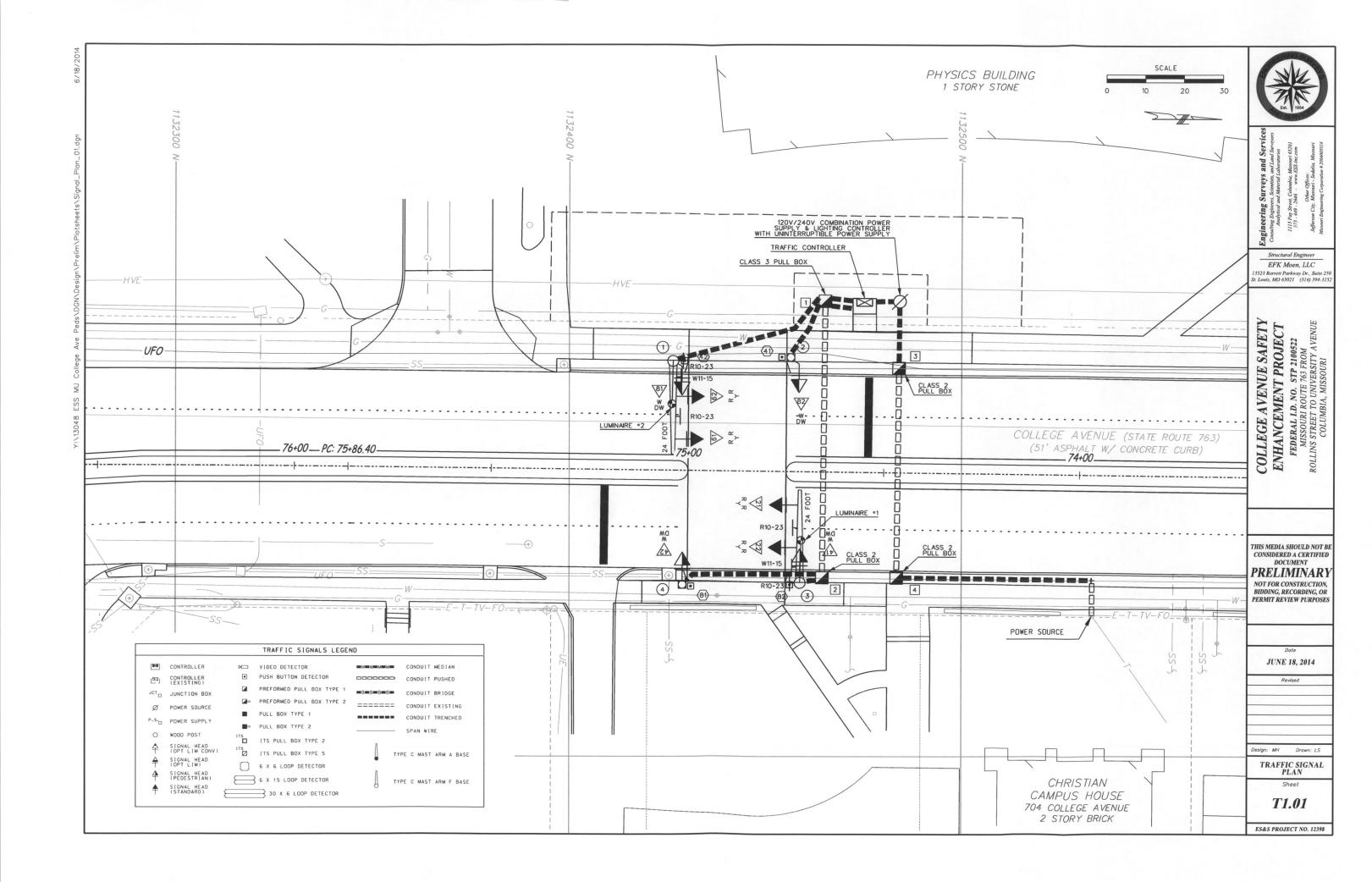
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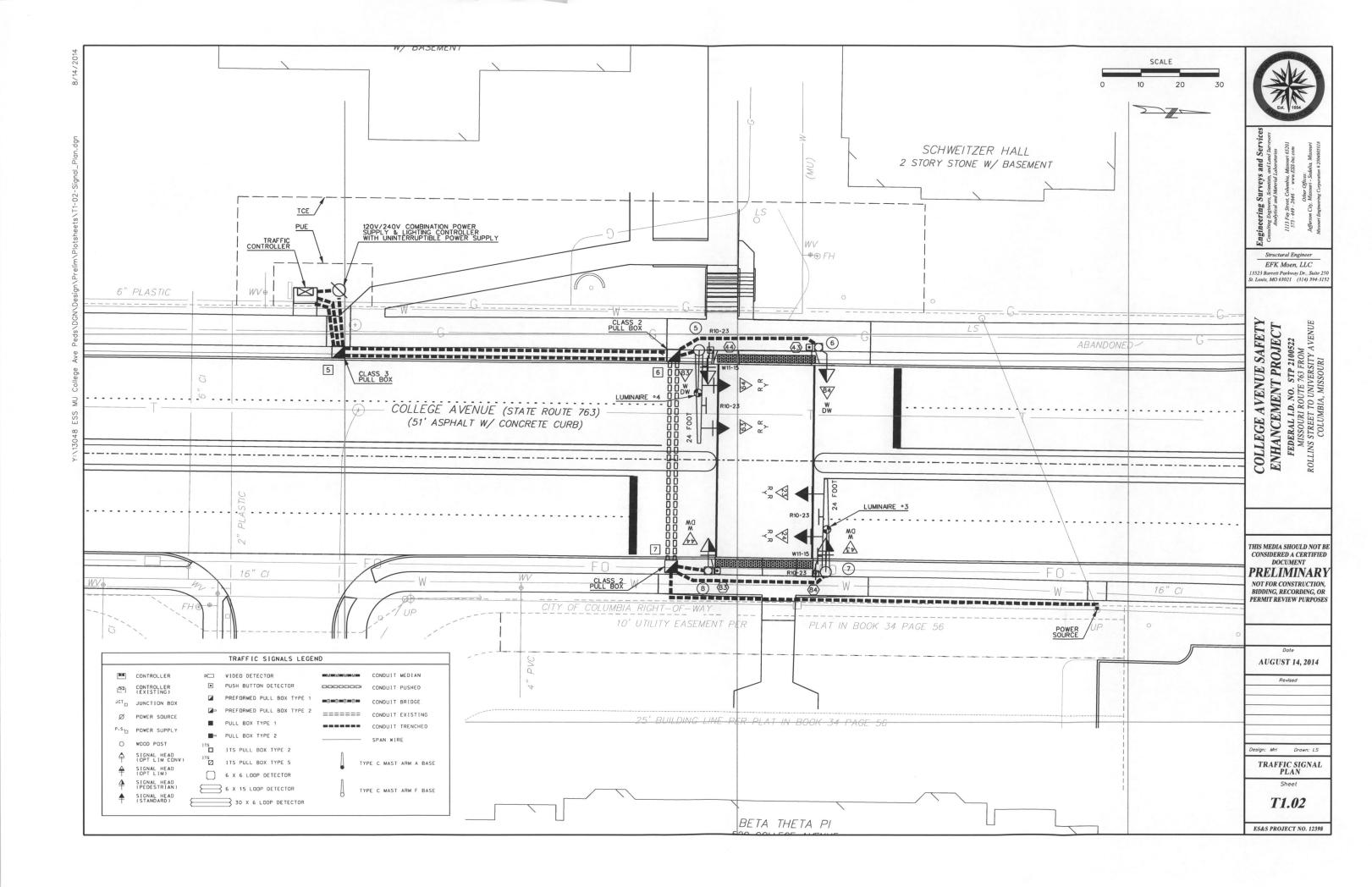
> Date JUNE 19, 2014

Design: MRZ Drawn: DAS

AESTHETIC DETAILS

L5.02 ES&S PROJECT NO. 12398





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COLLEGE AVENUE SAFETY
ENHANCEMENT PROJECT
FEDERAL I.D. NO. STP 2100522
MISSOURI ROUTE 763 FROM
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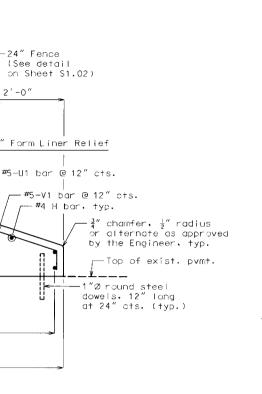
Revised

Design: CDL Drawn: JAA **CONCRETE MEDIAN** 

Sheet

S1.01

ES&S PROJECT NO. 12398



CONCRETE MEDIAN SECTION

8-#4 H bars

5'-0"

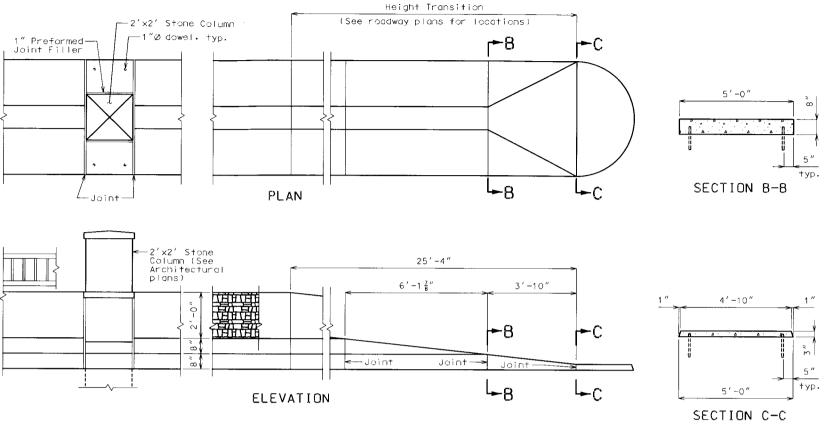
2'-0"

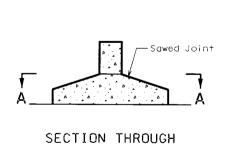
Const.

24" Fence

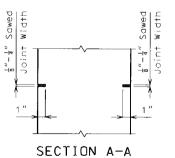
(See detail on Sheet \$1.02)

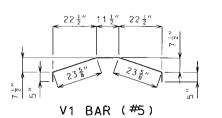
1½" Form Liner Relief





SAWED JOINT





Notes:

erials: Concrete: Class = Pavement Concrete, f'c=4.000psi Reinforcing Steel: fy=60.000 psi

Bar Splices shall be a minimum of 24 times the normal diameter of the bar.

Any reinforcing bar installation method devised by the Contractor and approved by the Engineer that will assure the longitudinal reinforcing steel will be positioned  $\pm\frac{1}{2}$  inch as dimensioned will be satisfactory.

Sawed joints shall be located at pavement transverse joints, not to exceed 10'

The cross sectional area of new concrete above the top of existing pavement = 7.04 sq. ft.

The top of median shall be built parallel to grade with joints normal to grade.

Payment for all concrete, reinforcement and dowels, complete in place, will be considered completely covered by the contract unit price for Concrete Median.

See architectural plans for concrete color and formliner details.

The 2' high by 12" wide decorative wall may be constructed with precast concrete at the Contractor's option. The Contractor shall submit shop drawings to the Engineer for review prior to the start of work. The shop drawings shall detail the connection of the cast in place concrete median section to the precast wall section. The shop drawings shall be designed and signed and sealed by a registered professional engineer in the State of Missouri.

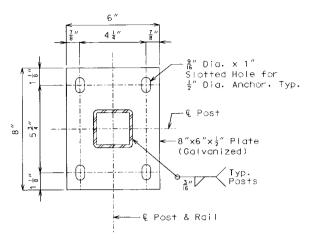
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Design: CDL Drawn: JAA

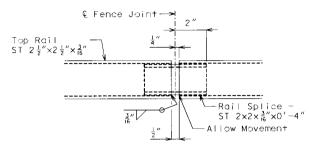
20" FENCE
Sheet

S1.02

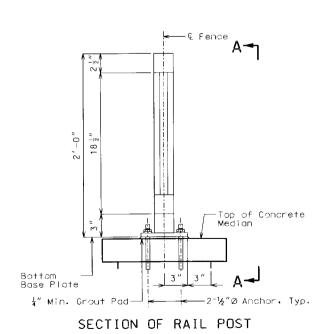
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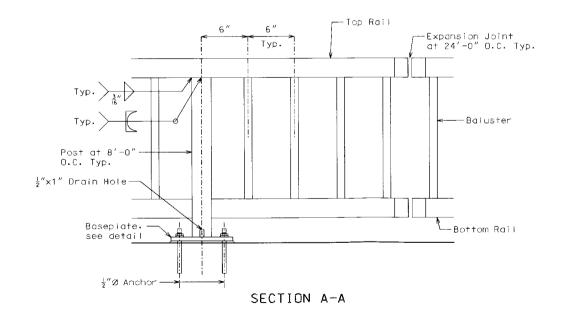


BASE PLATE DETAIL



**EXPANSION JOINT DETAIL**Top Rail shown. Bottom Rail similar.





#### Notes:

All rails and posts shall be  $2\frac{1}{2}"x2\frac{1}{2}"x\frac{3}{6}"$  structural tubing. Tubing for all rails and posts shall conform to ASTM A500. Grade B. Balusters shall be  $\frac{3}{4}"x\frac{3}{4}"$  steel bar. Balusters and base plates shall conform to ASTM A709. Grade 36.

Galvanize and paint all rails, posts, balusters and base plates after fabrication. Galvanization shall be in accordance with ATM A123 and Missouri Standard Specification for Highway Construction Sec. 1081. Fence shall be painted with System G (Black) in accordance with Sec 1081. Black color shall be federal color number 17038.

Rails and base plates shall be set parallel to top of median. All posts and balusters shall be set vertical. Grout shall be used between concrete and base plate for post.

All rail-to-post welded connections shall be set parallel to top of median. All posts and balusters shall be set vertical. Grout shall be used between concrete and base plate post.

Use E70xx electrodes for all welding.

All material, labor, splices, grout and installation shall be paid for under the bid item "Pedestrian Fence" per linear foot.

A grouted leveling pad shall be used to erect the posts vertical. The leveling pads shall be a non-shrink grout as approved by the Engineer. The grout shall be mixed, applied and cured according to the manufacturer's recommendations.

Concrete anchors, nuts and washers shall be galvanized in accordance with ASTM A153 and Sec. 1081.

Nuts shall conform to ASTM A307. Nuts shall be regular hexagon type. Washers shall be of standard commercial quality.

The concrete anchors shall have a minimum ultimate pullout strength of 7900 lbs. based on the concrete. The length of embedment into concrete shall conform to manufacturer's recommendations.

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