

Introduced by \_\_\_\_\_

First Reading \_\_\_\_\_

Second Reading \_\_\_\_\_

Ordinance No. \_\_\_\_\_

Council Bill No. B 248-06

**AN ORDINANCE**

approving the C-P Development Plan of Shell Building Lot 2  
Broadway Bluffs Subdivision; and fixing the time when this  
ordinance shall become effective.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF COLUMBIA, MISSOURI, AS  
FOLLOWS:

SECTION 1. The City Council hereby approves the C-P Development Plan of Shell  
Building Lot 2 Broadway Bluffs Subdivision, dated May 31, 2006, located on the northeast  
corner of East Broadway and Broadway Bluffs Drive. The Director of Planning and  
Development shall use the design parameters set forth in "Exhibit A" which is attached to  
and made a part of this ordinance as guidance when considering any future revisions to the  
C-P Development Plan.

SECTION 2. This ordinance shall be in full force and effect from and after its  
passage.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2006.

ATTEST:

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Mayor and Presiding Officer

APPROVED AS TO FORM:

\_\_\_\_\_  
City Counselor

April 28, 2006

RECEIVED  
MAY 01 2006  
PLANNING DEPT.

Mr. Tim Teddy, Director  
Department of Planning and Development  
City of Columbia  
701 E. Broadway  
Columbia, MO 65201

Re: CP Plan Design Parameters – Broadway Bluffs Subdivision, Lot 2

Dear Mr. Teddy:

In accordance with Section 29-17 (e) (7) of the City of Columbia Code of Ordinances, we submit and agree to abide by the following design parameters, as part of our C-P Development Plan application dated April 10, 2006.

- a. The maximum gross square footage of the proposed building will be 6,000 square feet. The exact location and footprints of our buildings may be modified at the time of building permit submission and approval, as long as our total square footage limitation is not exceeded.
- b. The minimum distance between buildings and any adjacent property line or street right of way shall be:
  - a. Twenty-five (25) feet along the East Broadway Right of Way
  - b. Fifteen (15) feet along the Broadway Bluffs Right of Way
  - c. Ten (10) feet along the east property line
- c. The maximum height of the building shall be thirty-five (35) feet.
- d. The minimum distance between the edge of any driveway, parking area, loading area, trash storage area, and the right-of-way of East Broadway and Broadway Bluffs shall be six (6) feet.
- e. The minimum percentage of the site to be maintained in open space will be 15%.
- f. The site shall be allowed to have the following signs:
  - a. One freestanding illuminated monument sign along East Broadway with a maximum height of twenty (20') feet and a maximum surface area of ninety-five (95) square feet. Such sign shall be available to all tenants of the Broadway Bluffs Subdivision.
  - b. Four freestanding illuminated directional signs along Broadway Bluffs Drive with a maximum height of three (3') feet and a maximum surface area of thirty two (32) square feet.
  - c. A drive thru menu sign, which shall not exceed the following:
    - i. Surface area = 45 square feet
    - ii. Height = 7 feet



- d. The retaining wall shown on the Southwest corner of the site at the intersection of East Broadway and Broadway Bluffs Drive shall be allowed an illuminated channel letter sign with a maximum letter height of 30" and a maximum surface area of fifty (50) square feet. Such sign shall read "Broadway Bluffs".
- g. All walls signs shall meet C-3 requirements.
- h. All parking lot light standards shall match those approved and used at The Broadway Shops. There shall be no more than 6 light poles, each with a maximum height of 25 feet featuring full cut-off fixtures.

Additionally, upon approval of this CP Development Plan, subsequent City approval of all building permit applications to be submitted for Lot 2 shall be subject to City approval of accompanying site, landscaping and storm water management plans for such building, which plans will be submitted concurrently with the building permit applications.

Respectfully,



Jay R. Lindner  
Executive Vice President

Approved this \_\_\_\_ day of \_\_\_\_\_, 2006  
by the Planning and Zoning Commission.

by: \_\_\_\_\_  
Jerry Wade, Planning Commission Chair

Approved this \_\_\_\_ day of \_\_\_\_\_, 2006  
by the City Council.

by: \_\_\_\_\_  
Darwin Hindman, Mayor

Approved this \_\_\_\_ day of \_\_\_\_\_, 2006  
by the City Clerk.

by: \_\_\_\_\_  
Sheela Amin, City Clerk

Source

Timothy Teddy

**TO:** City Council  
**FROM:** City Manager and Staff  
**DATE:** June 9, 2006



**RE:** A proposed C-P (Planned Business District) development plan known as "Shell Building Lot 2 Broadway Bluffs." The subject property, which is approximately 1.15 acres in size, is located on the northeast corner of East Broadway and Broadway Bluffs Drive. The proposed C-P development plan would allow for construction of 4,150 square feet of restaurant space. (Case 11-CP-06)



Fiscal Impact

YES

~~NO~~  


Other Info.

EXECUTIVE SUMMARY

This proposal would allow for 4,150 square feet of restaurant space. Maximum building height proposed is 35 feet.

At its meeting of June 8, 2006, the Planning and Zoning Commission voted unanimously (7-0) to recommend approval of the proposed C-P development plan subject to the condition that the free standing sign on East Broadway be limited to 12 feet in height and 64 square feet in sign surface area. The applicant requests approval of a 20 foot tall, 95 square foot sign for multiple tenant identification.

No one from the public spoke in opposition to the proposal.

A staff report, locator map, reduced copies of the plan and excerpts from the minutes of the Planning and Zoning Commission meeting are attached.

SUGGESTED COUNCIL ACTION

The Planning and Zoning Commission recommends approval of the proposed C-P development plan subject to the condition that the free standing sign on East Broadway be limited to 12 feet in height and 64 square feet in sign surface area.

## Shell Building Lot 2 Broadway Bluffs - C-P Development Plan

**AGENDA REPORT  
PLANNING AND ZONING COMMISSION MEETING  
JUNE 8, 2006**

**ITEM NO.** 11-CP-06

**NAME OF DEVELOPMENT**

Shell Building Lot 2 Broadway Bluffs - C-P Development Plan

**LOCATION**

On the northeast corner of East Broadway (State Route WW) and Broadway Bluffs Drive

**PROPERTY SIZE**

Approximately 0.85 acre

**EXISTING ZONING**

C-P (Planned Business District)

**GENERAL DESCRIPTION OF PROPOSED DEVELOPMENT**

The proposed development would consist of 4,150 square feet of restaurant space. Maximum building height would be 35 feet.

**ACCESS**

Access to the site will be by means of two driveways along Broadway Bluffs Drive, a local nonresidential street which is presently under construction. The site has frontage on, but no driveway access off East Broadway (State Route WW), a MoDot-maintained major arterial street. Adequate right-of-way is in place for both adjacent streets. Internal driveway access appears to be adequate. Staff has identified no access issues in regard to this proposal.

**PEDESTRIAN CIRCULATION**

A 6-foot wide sidewalk is in place along the East Broadway (State Route WW) frontage. A 5-foot wide sidewalk will be required to be constructed along the Broadway Bluffs Drive frontage. An internal walkway is shown along the northwest side of the proposed building.

**ON-SITE PARKING**

Required parking for the proposed restaurant building is 42 automobile spaces.

Forty four automobile spaces are shown on the plan. Although no bicycle spaces are required for parking lots of less than 50 spaces, 8 bicycle spaces are shown on the plan.

### **PUBLIC UTILITIES**

All City utilities are available to the subject site.

### **SITE CHARACTERISTICS**

The site is vacant and has been graded for construction. It is located within the Hinkson Creek drainage basin.

### **LANDSCAPING/STORM WATER MANAGEMENT**

Conceptual landscaping and storm water management plans for the site have been approved by the Public Works Department. 20.6 percent of the site will be in landscaping. Fifteen percent is the minimum required by the Zoning Regulations.

### **SIGNS**

The C-P District has no specific sign requirements. Signs for the site are included in the approved C-P development plan. The signs being proposed for this C-P development plan are as follows:

1. One free standing monument sign along East Broadway. The sign would be set back a minimum of 10 feet from the property line and would be a maximum of 20 feet in height and would have a maximum of 95 square feet of sign surface area. Under C-1 or C-3 zoning, the free standing sign could be no more than 12 feet in height and could have no more than 64 square feet of sign surface area.
2. Four free standing directional signs along Broadway Bluffs Drive. These signs would each have a maximum height of three feet and a maximum sign surface area of 32 square feet. Under C-1 or C-3 zoning, the four directional signs would be in compliance with the Sign Regulations.
3. A drive thru menu sign with a surface area of 45 square feet and a maximum height of 7 feet. Menu signs are not regulated by the Sign Regulations.
4. A "retaining wall" sign with a maximum letter height of 30" is proposed for the southwest corner of the site. The Sign Regulations do not include this type of sign.

Wall signs and other signs on the site would be in conformance with the Sign Regulations for District C-1 and C-3.

**ON-SITE LIGHTING**

Six light standards, with "full cut off" fixtures, a maximum of 25 feet in height are proposed.

**CITY-RECOGNIZED NEIGHBORHOOD ASSOCIATIONS AFFECTED**

East Walnut and East Campus

**PARKLAND NEEDS/GREENBELT**

Neighborhood parkland is not an issue in this case since the property is zoned for commercial development.

There is no designated greenbelt on or adjacent to the subject site.

**FIRE PROTECTION SERVICES**

The proposed development will be served by the City of Columbia Fire Department.

**DISCUSSION**

The proposed C-P development plan will allow for construction of a building with a total of 4,150 square feet for restaurant use. The plan meets all Zoning Regulation requirements and aside from the sign issues, staff has identified no problems.

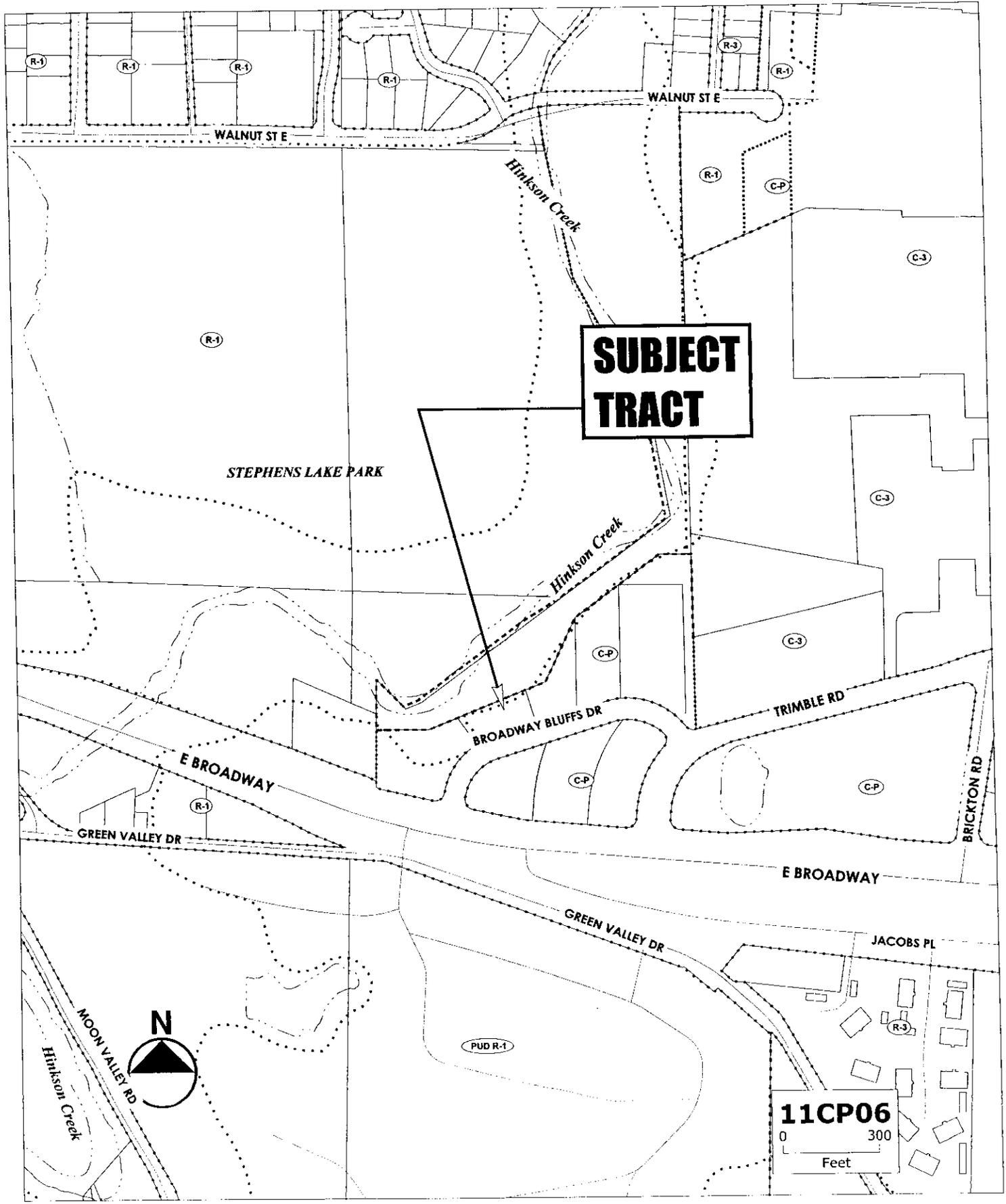
It should be noted that while there are no limits on signs in the C-P District, City Council Policy Resolution 155-05 (copy attached), which was adopted by the Council in August 2005, discourages signs in C-P which exceed the maximum requirements for the C-1, C-2 and C-3 Districts. The free standing sign proposed for the East Broadway frontage is far in excess of what would be allowed for a site zoned C-3. The proposed "retaining wall" sign is not allowed by the Sign Regulations; however, a similar sign was approved as part of the Corporate Lake C-P development plan in November 2006.

**STAFF RECOMMENDATION**

Approval of the C-P development plan, subject to the condition that the free standing sign on East Broadway be limited to 12 feet in height and 64 square feet in sign surface area

Report prepared by CAB

Approved by PAB



**SUBJECT TRACT**

STEPHENS LAKE PARK

WALNUT ST E

WALNUT ST E

Hinkson Creek

Hinkson Creek

BROADWAY BLUFFS DR

TRIMBLE RD

E BROADWAY

GREEN VALLEY DR

E BROADWAY

GREEN VALLEY DR

JACOBS PL

MOON VALLEY RD



Hinkson Creek

PUD R-1

**11CP06**  
0 300  
Feet

R-1

R-1

R-1

R-1

R-3

R-1

R-1

R-1

C-P

C-3

C-3

C-P

C-3

C-P

C-P

R-1

R-3

# SHELL BUILDING LOT 2 BROADWAY BLUFFS SUBDIVISION C-P DEVELOPMENT PLAN

10 APRIL 2006  
REVISED: 31 MAY 2006



**CURRENT  
OWNER**

THE BROADWAY BLUFFS DEVELOPMENT LLC  
P.O. BOX 1037  
COLUMBIA, MISSOURI 65205

**CLIMAX FOREST  
PRESERVATION NOTE**

NO CLIMAX FOREST WILL BE DISTURBED AS PART OF THIS PROJECT.

**ZONING NOTE**

ZONING IS C-P, PLANNED COMMERCIAL DISTRICT.

**FLOOD PLAIN NOTE**

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN AS DEFINED BY THE CITY ORDINANCE.

**PROPERTY DESCRIPTION**

LOT 2 OF THE BROADWAY BLUFFS SUBDIVISION

**LIGHTING NOTE**

ALL LIGHT STANDARDS SHALL BE EQUAL TO THOSE USED AND APPROVED IN THE BROADWAY SHOPS DEVELOPMENT. THE MAXIMUM NUMBER OF ADDITIONAL LIGHT STANDARDS SHALL BE SIX (6). ALL LIGHTS SHALL HAVE A MAXIMUM HEIGHT OF TWENTY-FIVE (25) FEET, AS MEASURED FROM THE BASE. FIXTURES SHALL BE FULL CUT OFF FIXTURES.

**SIGN NOTE**

- THE MAXIMUM NUMBER OF FREE STANDING SIGNS ON THE SITE WILL BE SIX (6).  
ONE (1) SIGN SHALL BE AN ILLUMINATED, FREE STANDING MONUMENT SIGN ALONG EAST BROADWAY WITH A MAXIMUM HEIGHT OF 20 FEET AND A MAXIMUM SURFACE AREA OF NINETY FIVE (95) SQUARE FEET. SUCH SIGN SHALL BE AVAILABLE TO ALL TENANTS OF THE BROADWAY BLUFFS SUBDIVISION.  
FOUR (4) DIRECTIONAL SIGNS WITH A MAXIMUM HEIGHT OF THREE (3) FEET AND A MAXIMUM AREA OF THIRTY TWO (32) SQUARE FEET.  
ONE (1) MENU BOARD W/ A MAXIMUM HEIGHT OF SEVEN (7) FEET AND A MAXIMUM AREA OF FORTY FIVE (45) SQUARE FEET.  
SIGN PROXIMITY TO THE PROPERTY LINES SHALL NOT BE LIMITED.
- ALL WALL SIGNS SHALL MEET C-3 REQUIREMENTS.
- THE RETAINING WALL AT THE INTERSECTION OF EAST BROADWAY AND BROADWAY BLUFFS DRIVE SHALL BE ALLOWED AN ILLUMINATED CHANNEL LETTER SIGN WITH A MAXIMUM LETTER HEIGHT OF 30" AND A MAXIMUM SURFACE AREA OF 50 SQUARE FEET. SUCH SIGN SHALL READ "BROADWAY BLUFFS".

**TRAFFIC EQUIVALENCY NOTE**

TRAFFIC EQUIVALENCY = 4,894 VEH. H. OF HIGH TURN OVER SIT DOWN RESTAURANT (ITE 7th EDITION CODE 932)

**BUILDING NOTE**

- THE MAXIMUM HEIGHT OF THE PROPOSED BUILDING SHALL BE THIRTY-FIVE (35) FEET.
- MAXIMUM ALLOWABLE BUILDING AREA SHALL BE 6,000 SQUARE FEET (SF).
- BUILDINGS SETBACKS SHALL BE AT LEAST:  
BROADWAY BLUFFS DRIVE RIGHT-OF-WAY 15 FEET  
EAST BROADWAY RIGHT-OF-WAY 25 FEET  
EAST PROPERTY LINE 10 FEET

**PARKING NOTE**

REQUIRED PARKING	
4,150 SQ.FT. OF RESTAURANT AT 1 SPACE/100 SQ.FT. = 42 SPACES	
PROVIDED PARKING	
STANDARD ADA	42 SPACES 2 SPACES
TOTAL	44 SPACES
BIKE	8 SPACES
PARKING RATIO W/O BIKE = 10:12	

**STORM WATER NOTE**

ON-SITE STORM WATER DETENTION SHALL BE DESIGNED TO DISCHARGE THE PREDEVELOPMENT PEAK FLOW OR LESS FOR THE:  
2 YR STORM  
10 YR STORM  
25 YR STORM  
AND TO PASS THE 100 YEAR STORM AS DETERMINED BY TECHNICAL RELEASE NO. 55 URBAN HYDROLOGY FOR SMALL WATERSHEDS JUNE 1986.

**LANDSCAPING NOTE**

TOTAL AREA	37,151 SQ. FT.	100 %
BUILDING AREA	4,150 SQ. FT.	11.2 %
PAVED AREA	25,331 SQ. FT.	68.2 %
LANDSCAPE AREA	7,670 SQ. FT.	20.6 %

**BENCH MARK**

- BM - TOP OF FIRE HYDRANT LOCATED 1050' NORTH OF TRIMBLE ROAD AND BROCKTON ROAD (NOW DESTROYED) ELEVATION=732.64
- TBM - EAST ZERO OF STAMPED STATION 34+00 ON NORTH EDGE OF PAVEMENT ON EAST BROADWAY ELEVATION=704.92
- EQUALS  
MO DOT BM B-01: MO DOT ELEVATION=700.74

**SURVEY CONTROL POINTS**

POINT NUMBER	NORTH	EAST	ELEVATION	DESCRIPTION
CP331	1178.00	874.84	704.48	SPIKE
CP337	1043.07	1301.24	700.38	SPIKE
CP3299	1543.99	1443.38	738.25	REBAR
CP3300	1255.71	816.32	720.71	REBAR
CP3691	1155.71	1336.18	718.99	REBAR

**LEGEND**

---	PROPERTY LINE
---	ELECTRIC LINE
---	TELEVISION LINE
---	UNDERGROUND TELEPHONE LINE
---	GAS LINE
---	WATER LINE
---	FIBER OPTIC LINE
---	DRAINAGE SWALE
---	ANCHOR
---	UNDER CONSTRUCTION
---	UTILITY POLE
---	LIGHT STANDARD
---	WATER METER
---	WATER VALVE
---	CORRUGATED METAL PIPE
---	HIGH DENSITY POLYETHYLENE PIPE
---	TEST BORING
---	IRON
---	R/W MARKER
---	EXISTING CONTOUR
---	FINISH CONTOUR
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT & VALVE
---	PROPOSED THURST BLOCK
---	PROPOSED UNDERGROUND ELECTRIC LINE
---	PROPOSED UNDERGROUND TELEPHONE LINE
---	PROPOSED GAS LINE
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM WATER LINE

**UTILITY NOTES**

- WATER**  
CITY OF COLUMBIA  
P.O. BOX 6015  
WATER & LIGHT DEPARTMENT  
COLUMBIA, MISSOURI 65205  
CONTACT: DAVID MATHON 573-874-7303  
16" D.I. LINE ALONG NORTH SIDE OF TRIMBLE ROAD  
15" D.I. LINE RUNS NORTH FROM TRIMBLE ROAD NEAR WEST END OF TRIMBLE ROAD  
8" PVC PRIVATE LINE NORTH OF TRIMBLE ROAD AS SHOWN  
8" C.I. LINE ALONG NORTH SIDE OF EAST BROADWAY
- ELECTRIC**  
CITY OF COLUMBIA  
P.O. BOX 6015  
WATER & LIGHT DEPARTMENT  
COLUMBIA, MISSOURI 65205  
CONTACT: DAN CLARK 573-874-7718  
11,000V. 3 PHASE ALONG NORTH SIDE OF TRIMBLE ROAD  
13,000V. 3 PHASE RUNS NORTH FROM TRIMBLE ROAD ALONG EAST LINE OF HOOPER SUBDIVISION
- GAS**  
AMEREN LE  
210 ORR STREET  
COLUMBIA, MISSOURI 65205  
CONTACT: GARY WEPPLER 573-876-3030  
4" STEEL HIGH PRESSURE LINE ALONG SOUTH SIDE OF TRIMBLE ROAD  
4" PLASTIC HIGH PRESSURE LINE ALONG NORTH SIDE OF EAST BROADWAY WEST OF TRIMBLE ROAD
- TELEPHONE**  
CENTURY TEL  
825 E. CHERRY STREET  
COLUMBIA, MISSOURI 65205  
CONTACT: DIANE HIGGEE 573-866-3003  
UNDERGROUND LINE ALONG NORTH SIDE OF TRIMBLE ROAD
- TELEVISION**  
MEDIACOM  
901 N. COLLEGE AVENUE  
COLUMBIA, MISSOURI 65201  
573-443-1535  
AERIAL LINE ALONG NORTH SIDE OF TRIMBLE ROAD
- SANITARY SEWER**  
CITY OF COLUMBIA  
P.O. BOX 6015  
PUBLIC WORKS DEPARTMENT  
COLUMBIA, MISSOURI 65205  
CONTACT: JOHN GLASCOCK 573-874-7250  
AS SHOWN
- STORM SEWER**  
CITY OF COLUMBIA  
P.O. BOX 6015  
PUBLIC WORKS DEPARTMENT  
COLUMBIA, MISSOURI 65205  
CONTACT: JOHN GLASCOCK 573-874-7250  
AS SHOWN

**RECEIVED**

**JUN 05 2006**

**PLANNING DEPT.**

Engineering Surveys & Services  
1113 Fay Street  
Columbia, Missouri  
573-449-3646

THIS IS A CONCEPTUAL SITE PLAN FOR C-P REVIEW ONLY, NOT FOR CONSTRUCTION.

APPROVED BY THE PLANNING AND ZONING COMMISSION,  
COLUMBIA, MISSOURI, ON \_\_\_\_\_

JERRY WADE, CHAIRPERSON

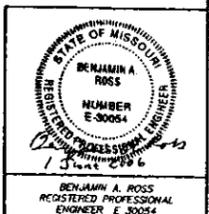
ACCEPTED BY ORDINANCE OF THE CITY COUNCIL OF  
COLUMBIA, MISSOURI, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2006

DARWIN HINDMAN, MAYOR

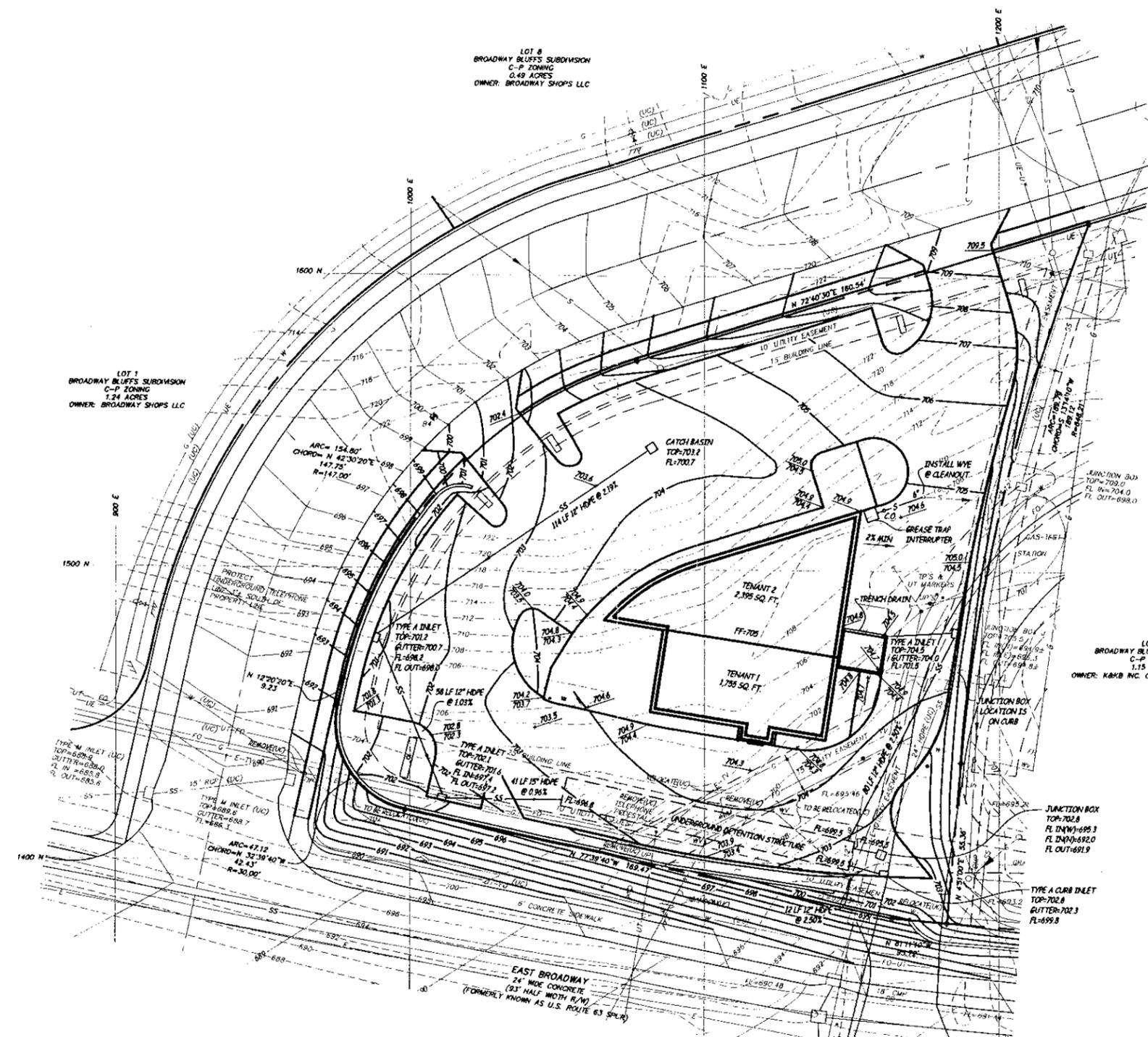
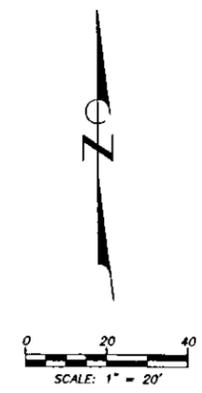
ATTEST: \_\_\_\_\_  
SHEELA AMNI, CITY CLERK

C-1  
SHEET INDEX

- C-1 COVER
- C-2 CONCEPTUAL SITE PLAN
- C-3 CONCEPTUAL GRADING & DRAINAGE
- L-1 LANDSCAPE PLAN
- LS-1 SITE LIGHTING PLAN







LOT 1  
BROADWAY BLUFFS SUBDIVISION  
C-P ZONING  
1.24 ACRES  
OWNER: BROADWAY SHOPS LLC

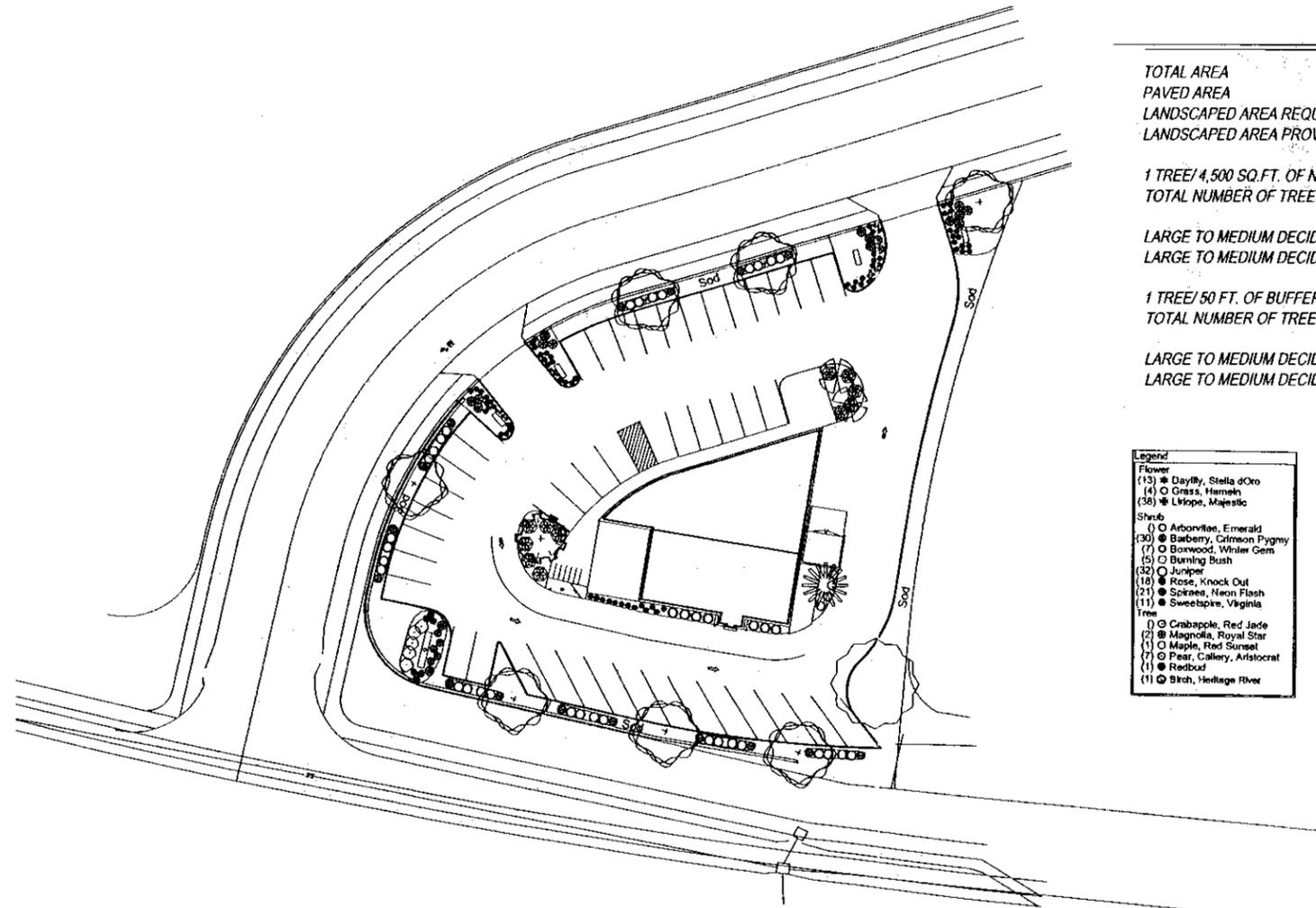
LOT 2  
BROADWAY BLUFFS SUBDIVISION  
C-P ZONING  
0.49 ACRES  
OWNER: BROADWAY SHOPS LLC

LOT 3  
BROADWAY BLUFFS SUBDIVISION  
C-P ZONING  
1.15 ACRES  
OWNER: K&B INC. CULVER'S OF WAUKESHA

RECEIVED  
MAY 11 2006  
PLANNING DEPT.

THIS IS A CONCEPTUAL SITE PLAN FOR C-P REVIEW ONLY, NOT FOR CONSTRUCTION.

	CONCEPTUAL GRADING & DRAINAGE <b>SHELL BUILDING</b> <b>LOT 2 BROADWAY BLUFFS SUBDIVISION</b> COLUMBIA, MISSOURI		
	Surveyed: JCB Drawn: JCB Checked: MN/DB		1113 Fay Street Columbia, Missouri 573-449-2646
BENJAMIN A. ROSS REGISTERED PROFESSIONAL ENGINEER E-30054	Scale 1" = 20'	Date 10 APRIL 2006	Job 0285
			Sheet C-3



SITE MEASUREMENTS:

TOTAL AREA	37,151 SQ.FT.
PAVED AREA	25,331 SQ.FT.
LANDSCAPED AREA REQUIRED (15%)	5,572 SQ.FT.
LANDSCAPED AREA PROVIDED (21%)	7,670 SQ. FT.
1 TREE/ 4,500 SQ.FT. OF NEW PAVED AREA	6 TREES
TOTAL NUMBER OF TREES ON PLAN	6 TREES
LARGE TO MEDIUM DECIDUOUS SHADE TREES REQUIRED (PARKING)	2 TREES (35% OF TOTAL)
LARGE TO MEDIUM DECIDUOUS SHADE TREES PROVIDED (PARKING)	2 TREES
1 TREE/ 50 FT. OF BUFFER	6 TREES
TOTAL NUMBER OF TREES ON PLANS	6 TREES
LARGE TO MEDIUM DECIDUOUS SHADE TREES REQUIRED (BUFFER)	2 TREES (35% OF TOTAL)
LARGE TO MEDIUM DECIDUOUS SHADE TREES PROVIDED (BUFFER)	2 TREES

Legend

Flower	(13) * Daylily, Stella d'Oro
	(4) O Grass, Hemein
	(38) * Lillipe, Majestic
Shrub	(1) O Arborvitae, Emerald
	(30) ● Barberry, Crimson Pygmy
	(7) O Boxwood, Winter Gem
	(5) O Burning Bush
	(32) O Juniper
	(18) ● Rose, Knock Out
	(21) ● Spiraea, Neon Flash
	(11) ● Sweetgum, Virginia
Tree	(1) O Crabapple, Red Jade
	(2) ● Magnolia, Royal Star
	(1) O Maple, Red Sunset
	(7) O Pear, Callery, Aristocrat
	(1) ● Redbud
	(1) O Birch, Heritage River

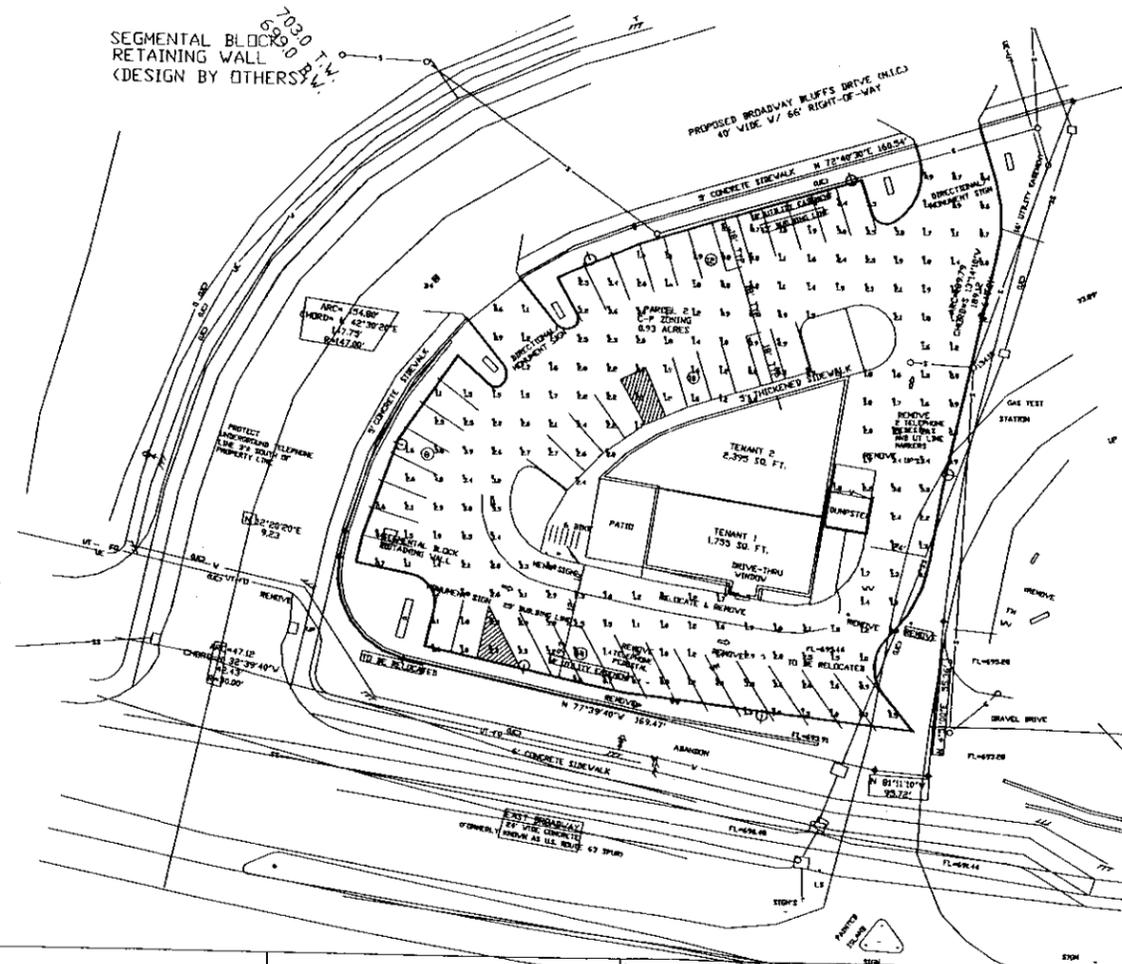
RECEIVED  
MAY 11 2006  
PLANNING DEPT.

Revision #2.0 4/28/2006	Scale: 1/32" = 1'	Landscape Plan: Broadway Bluffs Lot 2	Sheet # L-1
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FIXTURES MOUNTED ON 25' POLE

Numeric Summary							
Project: All Projects							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	1.79	4.0	0.4	4.49	10.00

Luminaire Schedule						
Project: All Projects						
Symbol	Dty	Label	Arrangement	Lumens	LLF	Description
⊙	6	F1	SINGLE	41000	0.720	TCH-400-MP-MT-SL



RECEIVED  
MAY 11 2006  
PLANNING DEPT.

<p>Date: 4/28/2006</p>	<p>Scale: 1/32" = 1'</p>	<p>Site Lighting Plan: Broadway Bluffs Lot 2</p>	<p>Sheet # SL-1</p>
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April 28, 2006

RECEIVED

MAY / 2 2006

PLANNING DEPT.

Mr. Tim Teddy, Director  
Department of Planning and Development  
City of Columbia  
701 E. Broadway  
Columbia, MO 65201

Re: CP Plan Sign Descriptions – Broadway Bluffs Subdivision, Lot 2

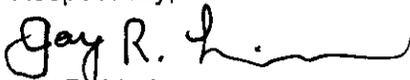
Dear Mr. Teddy:

In accordance with Section 29-17 (e) (6) of the City of Columbia Code of Ordinances, we submit and agree to abide by the sign descriptions contained in this letter. The concurrently submitted Site Plan shows the locations of the proposed signs, which will include:

- Freestanding Monument Sign Along East Broadway – One (1) freestanding monument sign along East Broadway. Said freestanding sign shall be designed to complement the architecture of the building, in similar fashion to the sign approved at The Broadway Shops. Attached is a photograph showing an example of such sign. The Freestanding Monument Sign shall have a maximum height of twenty (20') feet and a maximum surface area of ninety-five (95) square feet. All other aspects of said signage shall comply with Section 23-15 (a) and Section 23-25 (i) of the City of Columbia Code of Ordinances.
- Freestanding Directional Signs Along Broadway Bluffs Drive – Four (4) freestanding directional signs along Broadway Bluffs Drive. Said freestanding signs shall be designed to complement the architecture of the building, in similar fashion to the signs approved at The Broadway Shops. Attached are photographs of such signs. The freestanding directional signs shall each have a maximum height of three (3') feet and a maximum surface area of thirty two (32) square feet. All other aspects of said signage shall comply with Section 23-15 (a) and Section 23-25 (i) of the City of Columbia Code of Ordinances.
- Drive Thru Menu Signs – A drive thru menu sign with a surface area of forty-five (45) square feet and a maximum height of seven (7) feet.
- Retaining Wall Sign - The retaining wall shown on the Southwest corner of the site at the intersection of East Broadway and Broadway Bluffs Drive shall be allowed an illuminated channel letter sign with a maximum letter height of 30" and a maximum surface area of fifty (50) square feet. Such sign shall read "Broadway Bluffs".

Additionally, upon approval of the Broadway Bluffs Subdivision, Lot 2 CP Development Plan, installation of the herein described signs shall be subject to City approval of sign permit applications to be submitted at a later date.

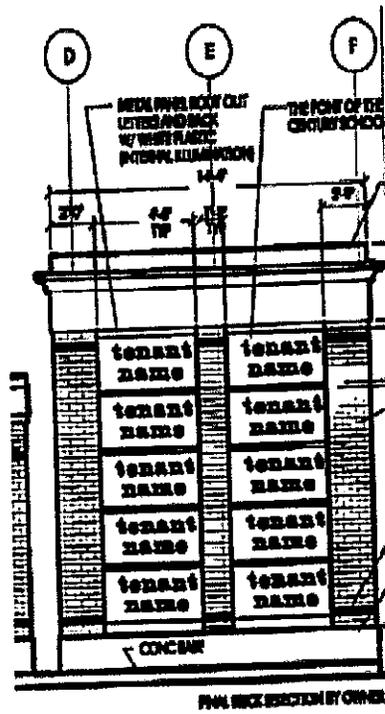
Respectfully,



Jay R. Lindner  
Executive Vice President



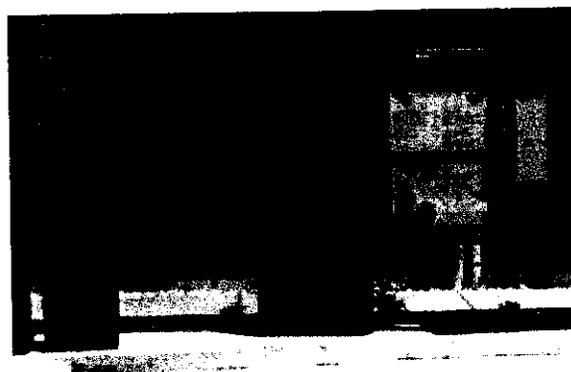
Freestanding Monument Sign along East Broadway:



*Directional*  
Freestanding Monument Sign along Broadway Bluffs Drive:



Drive Thru Menu Sign:



Approved this \_\_\_\_ day of \_\_\_\_\_, 2006  
by the Planning and Zoning Commission.

by: \_\_\_\_\_  
Jerry Wade, Planning Commission Chair

Approved this \_\_\_\_ day of \_\_\_\_\_, 2006  
by the City Council.

by: \_\_\_\_\_  
Darwin Hindman, Mayor

Approved this \_\_\_\_ day of \_\_\_\_\_, 2006  
by the City Clerk.

by: \_\_\_\_\_  
Sheela Amin, City Clerk

Introduced by Hodman Council Bill No. PR 155-05

A POLICY RESOLUTION

expressing the City Council's preference relating to freestanding signs in District C-P.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF COLUMBIA, MISSOURI, AS FOLLOWS:

SECTION 1. The City Council hereby expresses its preference that freestanding signs in District C-P (Planned Business District) not exceed the size and height limitations for signs in District C-1 (Intermediate Business District), District C-2 (Central Business District) and District C-3 (General Business District).

ADOPTED this 1st day of August, 2005.

ATTEST:

Shula Larri Nindman  
City Clerk Mayor and Presiding Officer

APPROVED AS TO FORM:

Frank Bushman  
City Counselor

June 1, 2006

City of Columbia Planning & Zoning Commission  
701 E. Broadway  
Columbia, MO 65201

**FILE COPY**  
**RECEIVED**

JUN 02 2006

**PLANNING DEPT.**

RE: Broadway Bluffs – Lot 2

Dear Commissioners:

I regret that I will be unable to attend the June 8<sup>th</sup> P&Z meeting to discuss our proposed development on Lot 2 at the Broadway Bluffs, but I will be out of town on business. Instead, I would like to briefly address the following issues that have been brought up by city staff, and ones I'm sure will be discussed during the meeting:

1. **Monument Signage** – The proposed monument sign for this property is larger than what is typically allowed under C-3 zoning, but we feel it is more than appropriate given the following:
  - a. This property is allowed 2 monument signs, which would yield a combined 24' height and 128 square feet in surface area. What we are proposing is less signage than the maximum that is allowed for shopping centers, and less signage than if we were to put in 2 signs. Additionally, given the set back from our property line, this proposed sign could have a maximum area of 96 square feet and a maximum height of 21 feet in accordance with Arterial Street standards.
  - b. As you can see from our other properties, we spend a lot of money in the design of our property signage to create something that is aesthetically pleasing. Unfortunately, due to the amount of stone and brick, we hurt ourselves by decreasing usable area for signage, but feel it is the right decision to maintain a good image. If we were limited to 12' in height for this sign, we would have to scale back these elements and be left with a sign that does not look as nice.
2. **Retaining Wall Signage** – Although the ordinance does not specifically address signs for retaining walls, we view this as another typical wall sign. The sign will be very pleasing and professionally done with some sort of a stainless steel or similar channel letter, and will read "Broadway Bluffs" in order to help brand the area. We intend to seek similar approval for the 2 retaining walls at Trimble and Broadway to give the area a unified appearance. These types of signs can be seen in cities across the

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Columbia, MO 65205  
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country and are a good way to help limit the amount of freestanding signage.

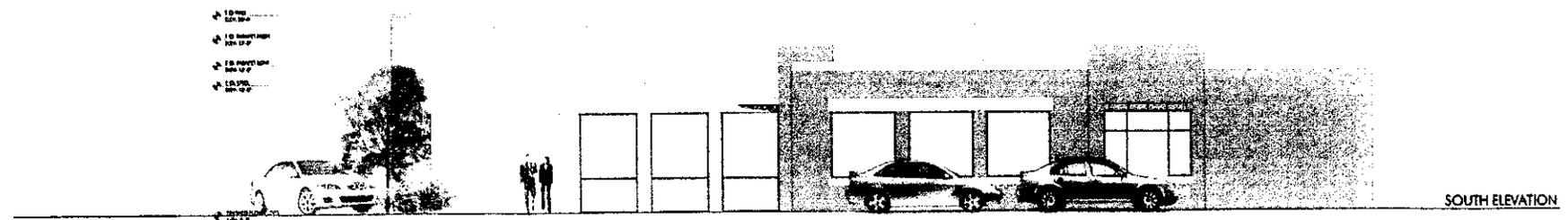
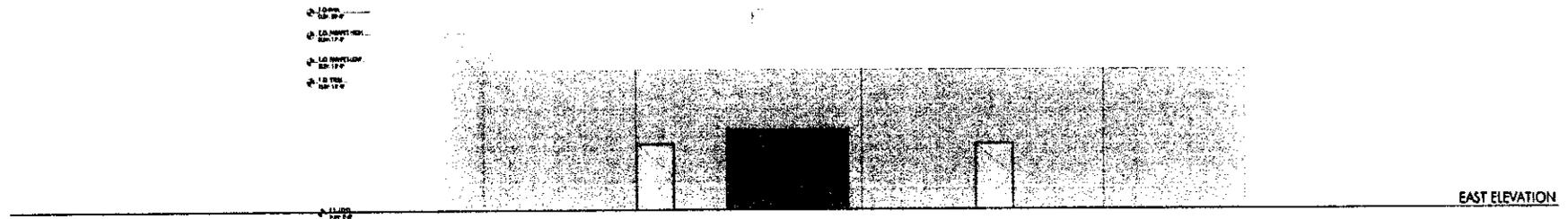
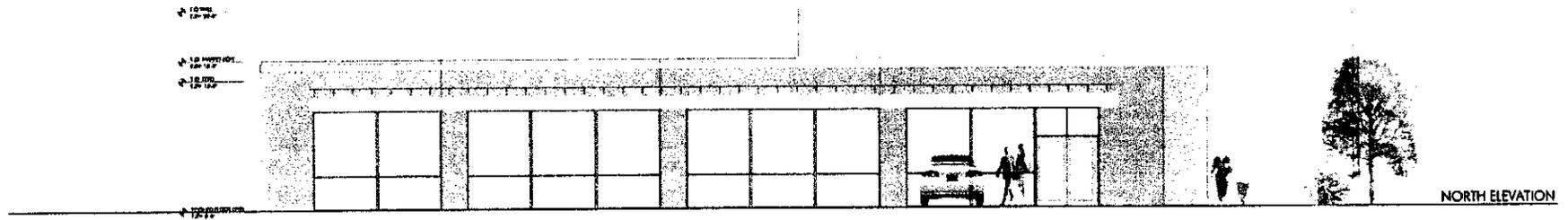
3. **Lighting** – The lighting has been designed to coordinate with the overall design theme of the area and to comply with the recorded subdivision regulations for these properties. As committed to the city on previous requests, all properties will utilize the same cut-off light fixture, while the properties along Broadway will have 25' poles to match what has already been approved, and the lots on the North side of Broadway Bluffs Drive will have 20' poles due to the sensitivity of Stephen's Lake Park. We have received numerous compliments on our lighting throughout this project and feel what is designed for Lot 2 will continue to be a benefit for the city.
4. **Building Design** – This building has been designed to compliment the architecture of The Broadway Shops and the other buildings proposed in the Broadway Bluffs area. It will feature all brick construction and more landscaping than is required by code.

Attached to this letter, please find images showing what the building and freestanding sign will look like. I hope that this continues to be the type of development that is desired in Columbia and know that this plan will be a good compliment to what we have accomplished in the East Broadway area. If you have any questions or concerns, please feel free to contact me and I will be happy to provide answers.

Sincerely,



Jay R. Lindner  
Executive Vice President  
Director of Leasing



MAY 17, 2007

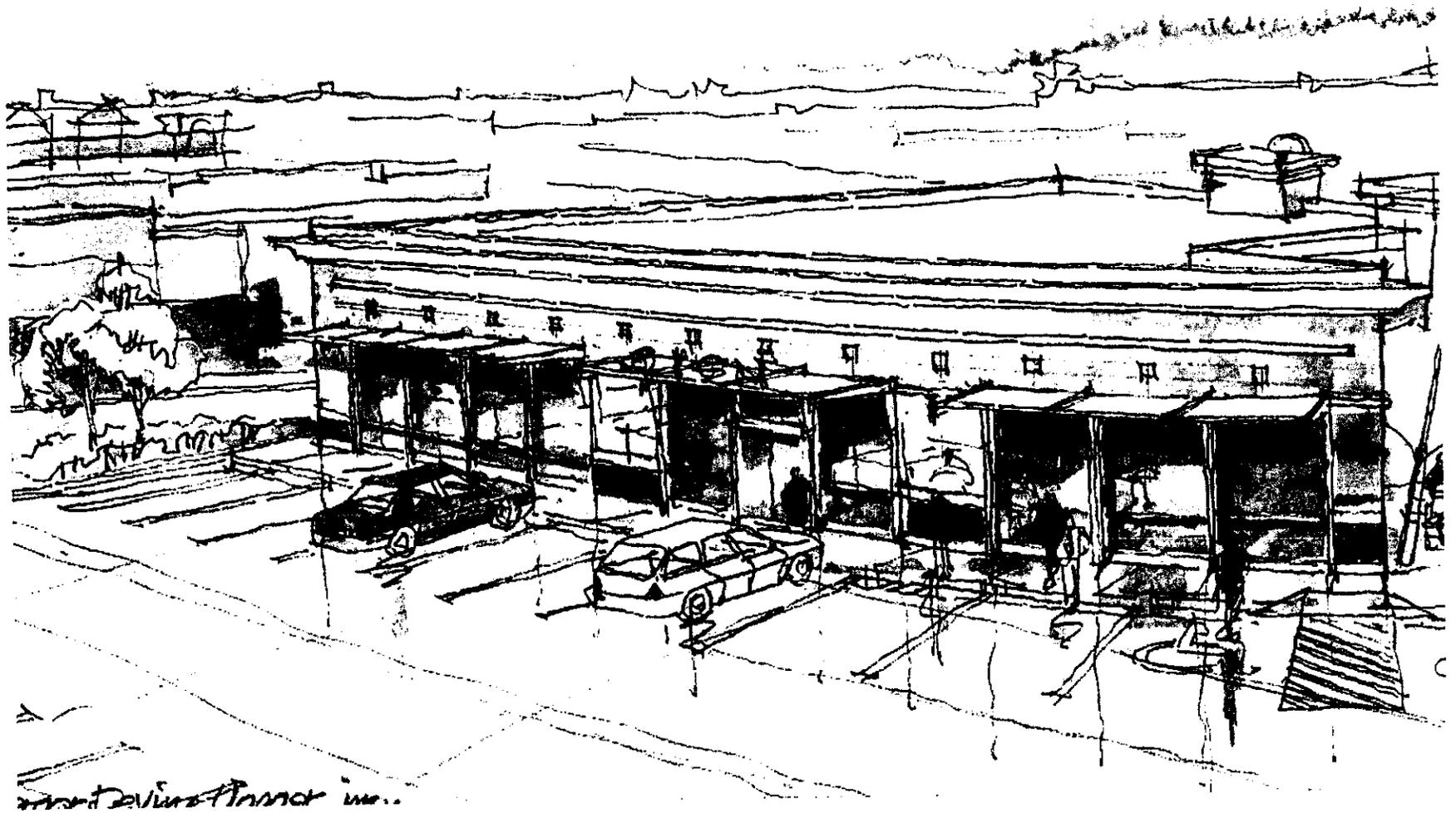
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**EXCERPTS**  
**PLANNING AND ZONING COMMISSION MEETING**  
**June 8, 2006**

**11-CP-06 A proposed C-P development plan to be known as "Shell Building Lot 2 Broadway Bluffs." The subject property, which is approximately 1.15 acres in size, is located on the northeast corner of East Broadway and Broadway Bluffs Drive.**

MR. WADE: May we have a staff report, please?

Staff report was given by Mr. Charles Bondra of the Planning and Development Department. Staff recommends approval of the C-P development plan, subject to the condition that the freestanding sign on East Broadway be limited to 12 feet in height and 64 square feet in sign-surface area.

MR. WADE: I have just one. In the C-P plan for that whole area, there were no restrictions on drive-throughs?

MR. BONDRA: I don't believe so. I'd have to go back and look. I don't recall any restrictions on drive-throughs.

MR. CADY: That was on the other side of Trimble Road, wasn't it -- on the other side of Trimble? This is on the west side of Trimble.

MR. WADE: Oh. Okay.

MR. BONDRA: I mean, there could be, but I would have to go back and look.

MR. WADE: I don't know. That just jumped out at me when I looked at this. Ms. Curby?

MS. CURBY: I think Broadway Bluffs is the road they just cut out today; am I correct?

MR. TEDDY: Yes.

MS. CURBY: Yes.

MR. TEDDY: Yes, it was just created.

MS. CURBY: Well, they've got it -- today, they --

MR. BONDRA: The last time I saw it, it wasn't graded. I haven't been out there today.

MR. WADE: Okay. Thank you.

MR. BONDRA: You're welcome.

MR. WADE: Are there any other questions of staff?

**PUBLIC HEARING OPENED**

MR. WADE: Anyone wishing to speak in support of this?

MR. KRIETE: Good evening. My name is Matthew Kriete. I'm with Engineering Surveys & Services with offices at 1113 Fay Street. I'm representing the applicant at this hearing, and I'm a civil engineer. In regards to the drive-throughs is the question here. And there was no restriction specifically

to drive-throughs. What was given was a traffic equivalency. So, in terms of traffic engineering, a drive-through has a pretty good impact on the traffic to the area. By adding that drive-through, that ends up increasing the equivalent area of the buildings, and essentially uses up more of the allowed area for the development. I'm not quite sure you followed me.

MR. WADE: Go ahead. I do.

MR. KRIETE: Okay.

MR. WADE: Carry on.

MR. KRIETE: In terms of the sign, I think the idea to keep here is equivalent. As we're dealing with the possibility of two separate signs, as Mr. Bondra mentions, we wanted to take those and combine them into one single sign, a little less area, a little less height than what would be allowed. And, again, as the Forum Development Group has done throughout their developments, they will -- it will be a very nice-looking sign. I'd say, kind of faced around, you know, a facade of brick, I guess would be the best way to say it, you know. And we're not talking about a, you know, pylon sign or anything that I think would be "ugly." So, other than that, I'd answer any questions you might have.

MR. WADE: Any questions of this speaker? Thank you.

MS. CURBY: I'm sorry. I do have a question.

MR. WADE: Wait, just a minute. Ms. Curby?

MS. CURBY: There are two tenants here. Will there be two drive-throughs or is it just one drive-through restaurant and another tenant that would have some other service?

MR. KRIETE: Yes. It's one drive-through tenant. The other tenant would be more of a sit-down-style restaurant.

MS. CURBY: Okay.

MR. WADE: Any further questions of this speaker? Mr. Lamb?

MR. LAMB: Do you know offhand what the heights of the light poles are in the other parts of this development?

MR. WADE: That's addressed in here.

MR. KRIETE: Neighboring Culver's was 25 foot. Houlihan's, I believe, was approved as 25 foot. And then the recent Japanese Steakhouse that was approved was reduced down to 20 foot. This -- I believe, this one is 25 foot.

MR. LAMB: In view of the site, do you think the developer would be interested in reducing these to 20?

MR. KRIETE: Well, we don't really feel like that's going to be detrimental to the area. In the surrounding area to the south, you have Broadway, which is much wider than even a 100-foot right-of-way, so there's really no neighboring properties to impede with that. To the east, you have an existing C-

P commercial -- well, not existing -- under-construction C-P commercial development. And then to the north, we have the Broadway Bluffs Drive right-of-way, as well as more commercial development to that side, as well. And, again, we're not sitting up on top of the bluff as we were with the Japanese Steakhouse in this case. You are kind of down grade, closer to Broadway.

MR. LAMB: And I just think the issue is the visibility of the light source to traffic as they drive by there. It's not a question of spillover or disrupting residential areas in this case, it's the glare of the source of illumination for traffic.

MR. KRIETE: Okay.

MR. WADE: How many feet above Broadway is the base of the pole?

MR. KRIETE: Depending on the point of Broadway, I'd say it could be over 30 foot. And then there is, again, quite a bit of separation.

MR. WADE: Ground level at that location is, what, five to seven, eight feet above Broadway?

MR. KRIETE: Yeah. Yeah. And Broadway is decreasing in grade as it crosses the site, you know. It may increase up to ten feet, possibly, too.

MR. WADE: So, you're talking basically from Broadway, you're talking about 25 to 30 feet poles?

MR. KRIETE: Uh-huh.

MR. LAMB: Are those on a pedestal?

MR. KRIETE: Yes.

MR. LAMB: And that's how tall?

MR. KRIETE: It's typical street footing, you know, as with others.

MR. LAMB: So, the 25 feet is plus the 3-foot pedestal, plus the height above Broadway?

MR. KRIETE: Yes.

MR. LAMB: So, it could be 35 feet above Broadway easily?

MR. KRIETE: It could be. Again, with full cut-off fixtures, the glare off the property is going to be very much minimized there. Not being a lighting expert, I don't know to what extent that really cuts that off, but it will be a consideration. As the zoning ordinance required, you know, you're to try to reduce the spillover to neighboring properties, and that -- you know, that would -- (inaudible.)

MR. LAMB: Again, the spillover to neighboring properties isn't really the issue here.

MR. KRIETE: Yes.

MR. LAMB: It's the issue of driver glare from the streets.

MR. KRIETE: In this case, I know this is something to look into, you know. If that's a concern of safety, it has to be addressed, and it will be addressed in the terms of how the fixtures are cut off, the placement of fixtures to insure that, you know, the spillover onto Broadway is minimized. I'm not so sure the height of the pole is going to reduce that or not. It may be more of a situation of placement and the

way the fixtures are set up to cut off.

MR. LAMB: But it would help.

MR. KRIETE: It could. It may not, you know.

MR. LAMB: Yes. Personally, I think it is a safety issue.

MR. WADE: Further questions of this speaker? Thank you.

MR. KRIETE: Thank you.

MR. WADE: Anyone else wishing to speak in support of this proposal? In opposition to this proposal?

**PUBLIC HEARING CLOSED**

MR. WADE: Commissioners? Mr. Barrow?

MR. BARROW: I'm looking forward to hearing the commission conversation on this, but I wanted to say right off the bat that I appreciated seeing that more than the minimum of landscaping was -- not much more, but it is a little bit more, and I haven't seen very much landscaping or green space on the developments out here so far, so I appreciate seeing a little bit more. And also that they're only asking for two spaces -- automobile spaces above the minimum, and they're adding eight bicycle spaces, which aren't even required, and I wanted to commend them for that part of the plan.

MR. WADE: Further discussion?

MS. CURBY: It looks like to me from the drawings we have that it fits architecturally into the existing Broadway Shoppes, and I think that will make it a very attractive place. I'm a little confused. I think the giant sign is supposed to be on Broadway and then the smaller signs within the entrance, but I think we probably should require that they meet the existing signage requirements.

MR. WADE: Yes. I concur with staff. Two signs does not sum up to approval for one big sign. That logic does not make sense to me. Other than that, you know, this is straightforward and it's what we're seeing on all of these C-P plans. But I concur with staff's recommendation on the free signing, and I do not concur with the attempt to make -- adding the two signs together to create approval for one does not logically follow for me. Further discussion, Commissioners? Mr. Barrow?

MR. BARROW: I move that we recommend approval of the C-P development plan subject to the condition that the free-standing sign on East Broadway be limited to 12 feet in height and to 64 square feet in sign surface area.

MR. CADY: Second.

MR. WADE: It's been moved and seconded that we recommend approval of the C-P plan with the condition that the free-standing sign on East Broadway be limited to 12 feet in height and 64 square feet in sign surface area. Discussion on the motion? Roll call, please.

MR. LAMB: The motion has been made and seconded to recommend approval of Item 11-CP-06,

a proposed C-P development plan to be known as "Shell Building Lot 2 Broadway Bluffs." The subject property, which is approximately 1.15 acres in size, is located on the northeast corner of East Broadway and Broadway Bluffs Drive, and the motion includes approval subject to the condition that the free-standing sign on East Broadway be limited to 12 feet in height and 64 square feet of sign surface area.

**Roll Call Vote (Voting "yes" is to recommend approval.) Voting Yes: Mr. Rice, Mr. Wade, Mr. Wheeler, Mr. Barrow, Mr. Cady, Ms. Curby, Mr. Lamb. Motion carries 7-0.**