



Blue Acres

Hwy 63

Ponderosa

Connection to
Existing Development

Property Line

Multi-Use
Loop Trail

Practice
Field

Future Expansion
±40,000 SF

Future Expansion
±40,000 SF

Phase 1
41,000 SF

Phase 1
Parking

Phase 2
Parking

Future
Outdoor Tennis

Future
Parking

Future
Recreation
Facilities

Shelter

Activity

Future Parking

Future Drive

Future Parking

Shelter

Shelter

Future
Parking

Future Drive

Activity

Shelter

Multi-Use
Loop Trail

Shelter

Practice
Field

Practice
Field

Shelter

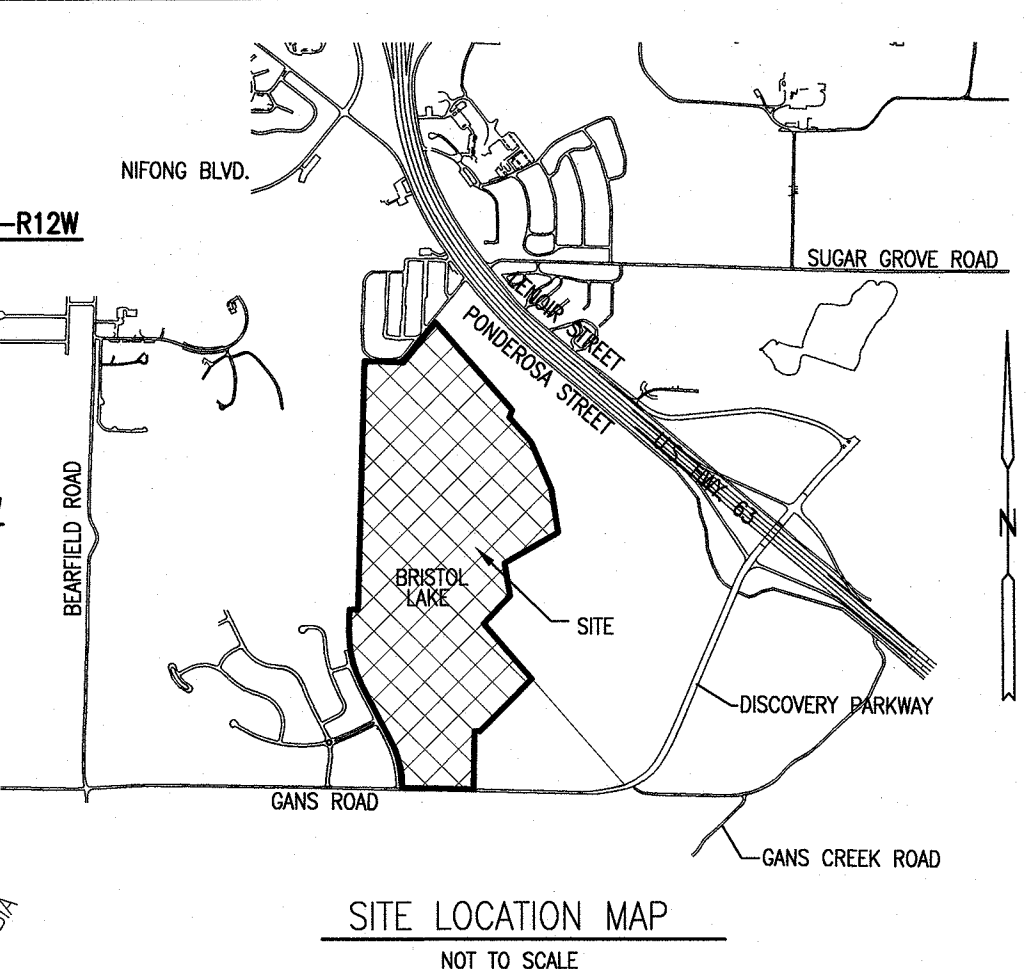
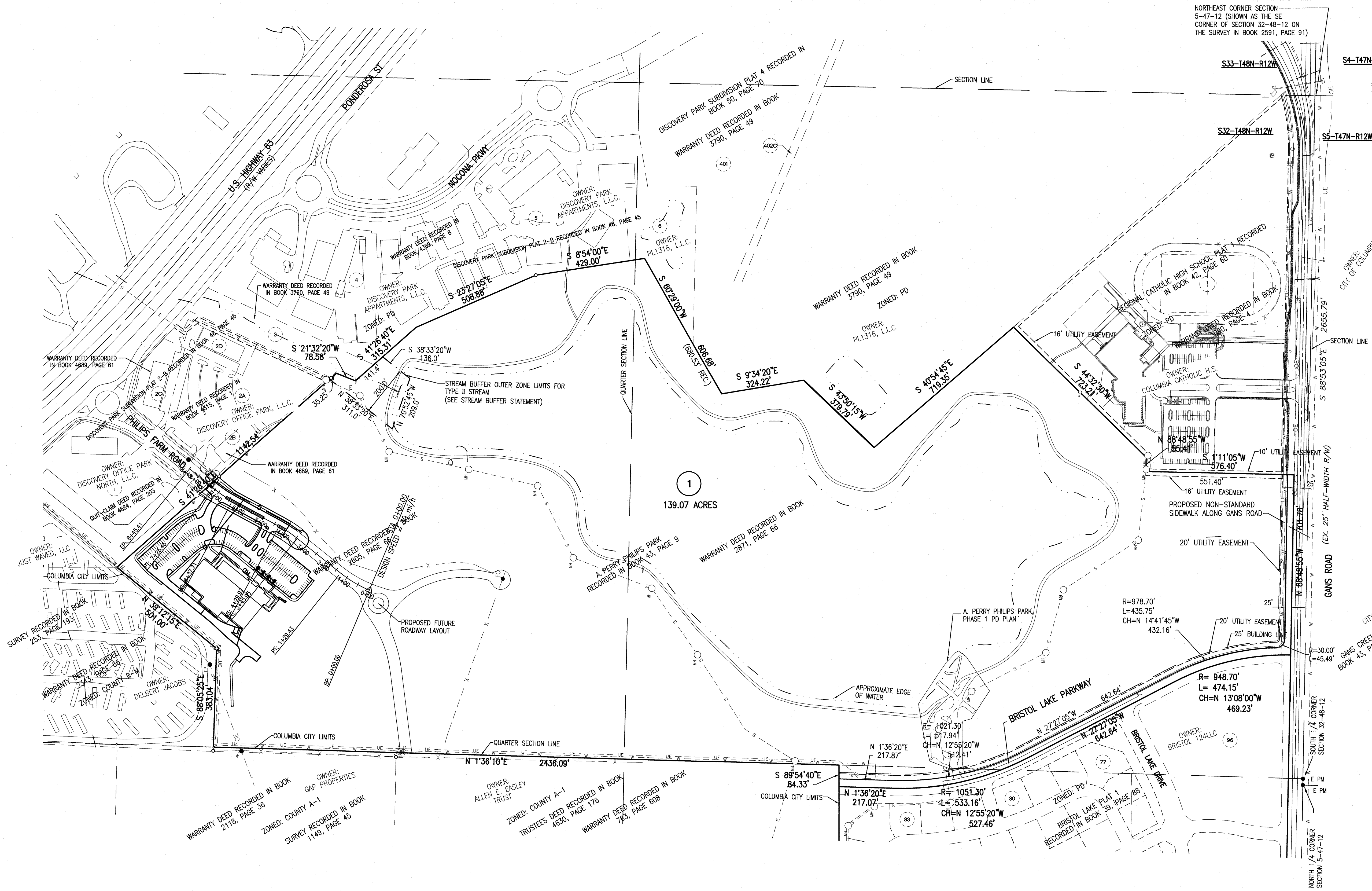
Practice
Field

Philips Lake

Exist. Loop Trail

Exist. Loop Trail

A. Perry Philips Park



OWNER:
CITY OF COLUMBIA
P.O. BOX 6015
COLUMBIA, MO 65205-6015

PROPERTY DESCRIPTION
LOT 1, A. PERRY PHILIPS PARK, RECORDED IN BOOK 43, PAGE 9.

ZONING NOTE
THE TRACT IS ZONED PD. THE PROPOSED LAND USE SHALL BE INDOOR RECREATION OR ENTERTAINMENT OR PHYSICAL FITNESS CENTER.

GENERAL NOTES
1. TRACT IS ZONED PD.
2. THIS TRACT IS 139.07 ACRES.
3. ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
4. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS SHOWN OTHERWISE.
5. DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED AS PER CITY OF COLUMBIA STANDARDS.
6. ALL WORK SHALL CONFORM TO THE CONSTRUCTION STANDARDS OF THE CITY OF COLUMBIA, MO.
7. PHILIPS FARM ROAD SHALL BE A NEIGHBORHOOD COLLECTOR. PHILIPS FARM ROAD WILL BE EXTENDED TO THE WEST PROPERTY EDGE IN A FUTURE PHASE.
8. PHASE 1 IS SUBJECT TO THE A. PERRY PHILIPS PARK, PHASE 1 PD PLAN.

APPROVED BY THE CITY OF COLUMBIA PLANNING AND ZONING COMMISSION THIS _____ DAY OF _____, 2017.

RUSTY STRODTMAN, CHAIRPERSON

APPROVED BY THE COLUMBIA CITY COUNCIL THIS _____ DAY OF _____, 2017.

BRIAN TRECCE, MAYOR

SHEELA AMIN, CITY CLERK

MISSOURI ONE CALL SYSTEM, INC.
1-800-368-5858
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1-800-368-5858

UTILITY CONTACTS

UTILITY	CONTACT	TELEPHONE
ELECTRIC:	DAN CLARK WATER AND LIGHT DEPARTMENT CITY OF COLUMBIA 701 E. BROADWAY COLUMBIA, MO 65201 (573) 874-7325	TIM DISMAN CENTURYLINK 625 EAST CHERRY STREET COLUMBIA, MO 65201 (573) 886-3503
WATER:	DAVE STORVICK WATER AND LIGHT DEPARTMENT CITY OF COLUMBIA 701 E. BROADWAY COLUMBIA, MO 65201 (573) 874-7325	LINDSEY SCHAEFER PUBLIC WORKS DEPARTMENT CITY OF COLUMBIA 701 E. BROADWAY COLUMBIA, MO 65201 (573) 874-7250
NATURAL GAS:	CHAD WARREN AMEREN UE 2001 MAGUIRE BLVD. COLUMBIA, MO 65201 (573) 876-3030	MISSOURI ONE CALL, INC. 10228 NORTHEAST DRIVE JEFFERSON CITY, MO 65109 (800) 344-7483

UTILITY NOTE
MISSOURI ONE CALL SYSTEM, INC. WAS USED TO LOCATE EXISTING UTILITIES. (1-800-344-7483, TICKET NO. 190220592). THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES ARE BASED UPON ABOVE GROUND STRUCTURES AND MARKINGS PROVIDED BY OTHERS. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, THE OFFICES OF THE UTILITY PROVIDERS SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FIELD VERIFICATION.

LANDSCAPING STATEMENT
LANDSCAPING SHALL COMPLY WITH SECTION 29-4.4.

FLOOD PLAIN STATEMENT
THIS TRACT IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN BY THE CITY OF COLUMBIA'S FLOOD PLAIN MAP PANEL NUMBER 29019C0295E, DATED: APRIL 19, 2017.

STREAM BUFFER STATEMENT
THE STREAM BUFFER LIMITS SHOWN ON THIS PLAN ARE INTENDED TO COMPLY WITH STREAM REQUIREMENTS OF ARTICLE X, CHAPTER 12A OF THE CITY OF COLUMBIA'S CODE OF ORDINANCES. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION WITHIN THE BUFFER EXCEPT AS SPECIFICALLY APPROVED BY THE CITY OF COLUMBIA.

LEGEND

SYMBOL	DESCRIPTION
○	IRON PIPE (UNLESS NOTED OTHERWISE)
---	STORM SEWER
---	TELEPHONE
---	SANITARY SEWER
---	WATERLINE
---	GAS LINE
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	CABLE TV
---	FENCE
---	FLOWLINE
S	PROP. SANITARY SEWER
W	PROP. WATERLINE
UE	PROP. UND. ELECTRIC
G	PROPOSED GAS LINE
W	PROPOSED WATER VALVE
H	PROPOSED FIRE HYDRANT
*	PROPOSED LIGHT POLE
*	PROPOSED GROUND LIGHT
□	DEFERRED PARKING
○	SANITARY MANHOLE
○	SANITARY CLEAN OUT
○	WATER METER
○	WATER VALVE
○	FIRE HYDRANT
○	GAS VALVE
○	GUY WIRE ANCHOR
○	LIGHT POLE
○	GAS VALVE
○	GAS METER
○	ELECTRIC MANHOLE
○	SIGN
○	BENCHMARK
○	CONIFEROUS TREE
○	DECIDUOUS TREE
○	TELEPHONE PEDESTAL
(R)	TO BE REMOVED
○	FENCE CORNER

PARKING INFORMATION
INDOOR RECREATION OR ENTERTAINMENT
PHYSICAL FITNESS CENTER: 1 SPACE/400 S.F. GROSS FLOOR AREA
REQUIRED:
46,200 S.F. @ 1.0 SPACES/400 S.F. = 116 SPACES
PROVIDED:
202 VEHICLE SPACES (INCLUDING 8 HC SPACES)
15 BICYCLE SPACES
217 SPACES PROVIDED
THE PARKING SHOWN IN EXCESS OF 116 SPACES MAY BE CONSTRUCTED AT A LATER DATE.

LIGHTING
SITE LIGHTING WILL CONSIST OF APPROXIMATELY 11 LIGHT POLES WITH AN APPROXIMATE HEIGHT OF 20' AND FULL CUTOFF FIXTURES.

SIGNAGE
SIGNAGE SHALL COMPLY WITH STANDARDS IN 29-4.8 FOR M-C ZONING. PROPOSED SIGNAGE WILL CONSIST OF 64 S.F. MAX. AREA AND 12' MAX. HEIGHT.

ALLSTATE CONSULTANTS
3312 LEMONE INDUSTRIAL BLVD.
COLUMBIA, MO 65201
(573) 875-8799
allstateconsultants.net

MISSOURI STATE CERTIFICATE OF AUTHORITY #2007004004

REGULATORY BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS
ALLSTATE CONSULTANTS LLC

PD - PLAN
COLUMBIA INDOOR SPORTS COMPLEX
PHILIPS PARK
COLUMBIA, MISSOURI

BRIAN P. HARRINGTON
REGISTERED PROFESSIONAL ENGINEER
NO. 62012
STATE OF MISSOURI

DATE
5-15-2017

REVISED:
06-13-2017
06-16-2017

JOB NUMBER
17093.01

SCALE
AS SHOWN

SHEET
1

