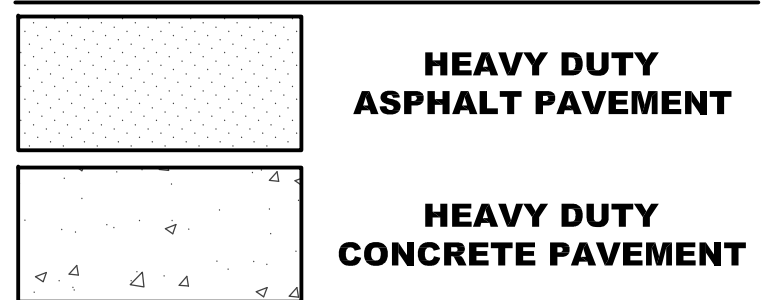


PAVEMENT LEGEND



RED OAK MARKETPLACE PD

SITE NOTES:

- Bearings referenced to Grid North of the Missouri Coordinate System 1983, Central Zone and elevations referenced to NAVD 1988 per GPS observations utilizing the MoDOT VRS RTK Network.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
Primary Benchmark - Found Iron Rod at North corner of property. Elevation=743.00
- This site scales within Zone X, areas determined to be outside the 0.2% annual chance floodplain, as per Federal Emergency Management Agency Flood Insurance Rate Map No. 29019C0287E, Community Panel No. 287E, dated April 19, 2017.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractors expense.
- The sitework for this project shall meet or exceed all applicable requirements.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions are to the face of curb and radii are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- The height of the light poles concrete base is critical (see detail).
- Contractor shall have a copy of the City of Columbia's latest edition of the Street and Storm Sewer Specifications and Standards on site at all times during construction.
- Maximum building height is 45 feet.
- Signage shall comply with City of Columbia Unified Development Code (UDC).
- Wall signs shall follow Table 29-4.8-9 of UDC.
- Monument signs shall follow Table 29-4.8-8 of UDC. Monument signs cannot be nearer to the interior sidelines than 25% of lot width.
- Setbacks shall be consistent with M-C zoned property.

NOTE:
Contractor is responsible for notifying the following agencies, as required, immediately prior to closure of street, during construction for inspections and again when work is complete and street is reopened.

Site Development (ROW Inspections)	874-7474
Building Safety (Plumbing/Building Inspections)	874-7474
Joint Communications (Emergency Services)	874-8471
Columbia Transit (City Buses)	874-7282
Parking Enforcement (Parking Meters)	874-7674
Public Works Street Division (Street Patching)	874-9289

PLANNING AND ZONING'S CERTIFICATE:

Approved by the City of Columbia Planning and Zoning Commission this ____ day of _____, 2018.

Rusty Stradman, Chairperson

CITY COUNCIL'S CERTIFICATE:

Approved by the Columbia City Council this ____ day of _____, 2018.

Brian Treece, Mayor

SITE DATA

LOT 2A	2.49 ACRES±
LOT 2B	0.79 ACRES±
LOT 2C	0.56 ACRES±
LOT 2D	0.58 ACRES±
TOTAL AREA	4.42 ACRES±

LAND USE: COMMERCIAL
ZONING CLASSIFICATION: PD (PLANNED DEVELOPMENT)
LOCAL JURISDICTION: CITY OF COLUMBIA, MISSOURI

PARKING DATA

REQUIRED PARKING	
RETAIL	1/300 S.F.
RESTAURANT	1/150 S.F.
LOT 2A	
RETAIL (19,626 S.F.)	66 SPACES REQUIRED 107 SPACES PROVIDED
LOT 2B	
RETAIL (6,956 S.F.)	24 SPACES REQUIRED 38 SPACES PROVIDED
LOT 2C	
RETAIL (2,265 S.F.)	8 SPACES REQUIRED
RESTAURANT (2,042 S.F.)	14 SPACES REQUIRED 22 SPACES REQUIRED 29 SPACES PROVIDED
LOT 2D	
RESTAURANT (3,015 S.F.)	21 SPACES REQUIRED 29 SPACES PROVIDED

SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	AE	AE
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	SM	SM
CATCH BASIN	CB	CB
JUNCTION BOX	JB	JB
FLARED END SECTION	DES	DES
CLEANOUT	CO	CO
GRATED INLET	GI	GI
CHAINLINK FENCE	CLF	CLF
WATER VALVE	WV	WV
FIRE HYDRANT	FH	FH
EASEMENT	---	---
PROPERTY LINE	---	---
CONTOURS	(100)	(100)

STRUCTURE ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
JB	JUNCTION BOX
CB	CATCH BASIN
CGI	CURB GRATED INLET
BHGI	BEDHIVE GRATED INLET
GI	GRATED INLET
CS	CONTROL STRUCTURE
STCO	STORM SEWER CLEANOUT
SMH	SANITARY MANHOLE
SSCO	SANITARY SEWER CLEANOUT
GT	GREASE TRAP
LS	LIFT STATION/ GRINDER PUMP

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR CITY APPROVAL ONLY

RICK G. ROHLFING, P.E. #29409
State of Missouri
Registered Professional Engineer for
BFA, Inc. Professional Engineering Corporation #000472
01/03/2018

E-Mail: mail@bfaeng.com TELEPHONE: (636) 239-4751

BFA

CONSULTANTS-ENGINEERS-SURVEYORS
www.bfaeng.com

103 ELM STREET WASHINGTON, MISSOURI 63090

Red Oak Marketplace, LLC
RED OAK MARKETPLACE PD
1325 Grindstone Plaza Drive
Columbia, Boone County
Missouri, 65201

REVISIONS

By:	App:
1	
2	
3	
4	

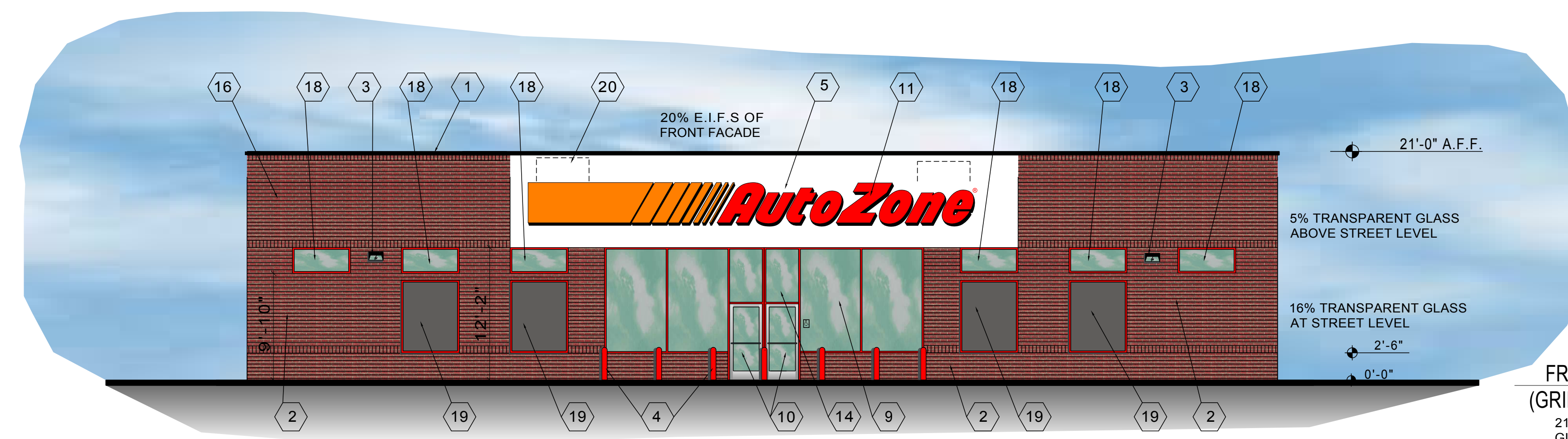
OWNER
RED OAK MARKETPLACE, LLC
709 Hwy 28, PO Box 39
Belle, MO 65013

CITY PROJECT #18-20

DRAWN
B.L.P., J.J.M.
CHECKED
R.G.R.
DATE
01/03/18
SCALE
1"=30'
JOB No.
4137

SHEET NAME
RED OAK
MARKETPLACE PD

ST-1

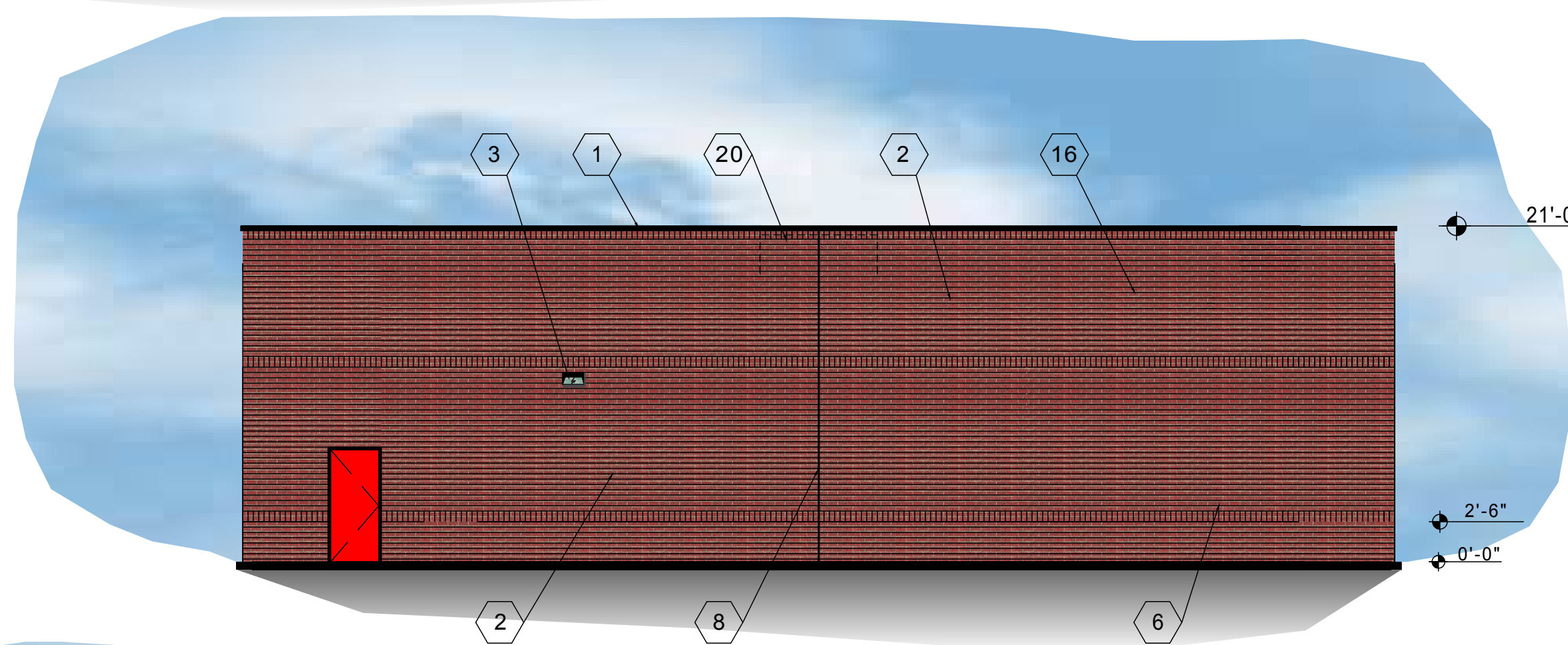


FRONT ELEVATION
(GRINDSTONE PKWY.)

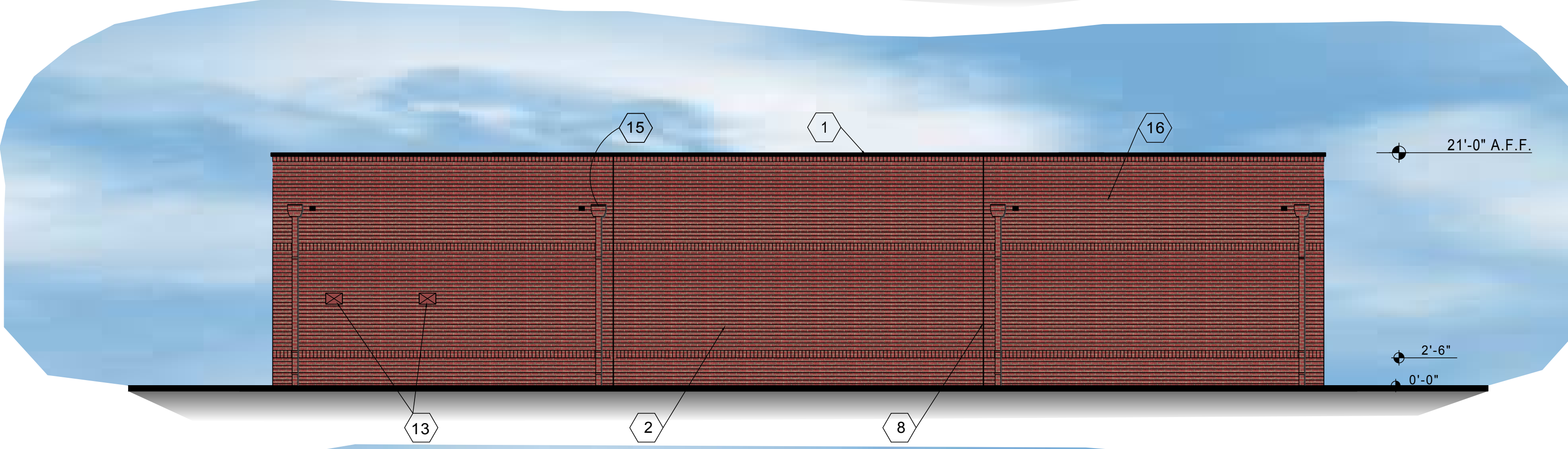
21% TRANSPARENT
GLASS FACING PUBLIC
STREET

NOTE: BLACKED OUT
WINDOWS UNABLE TO BE
TRANSPARENT DUE TO
INTERIOR STORE
FUNCTION AND LAYOUT.

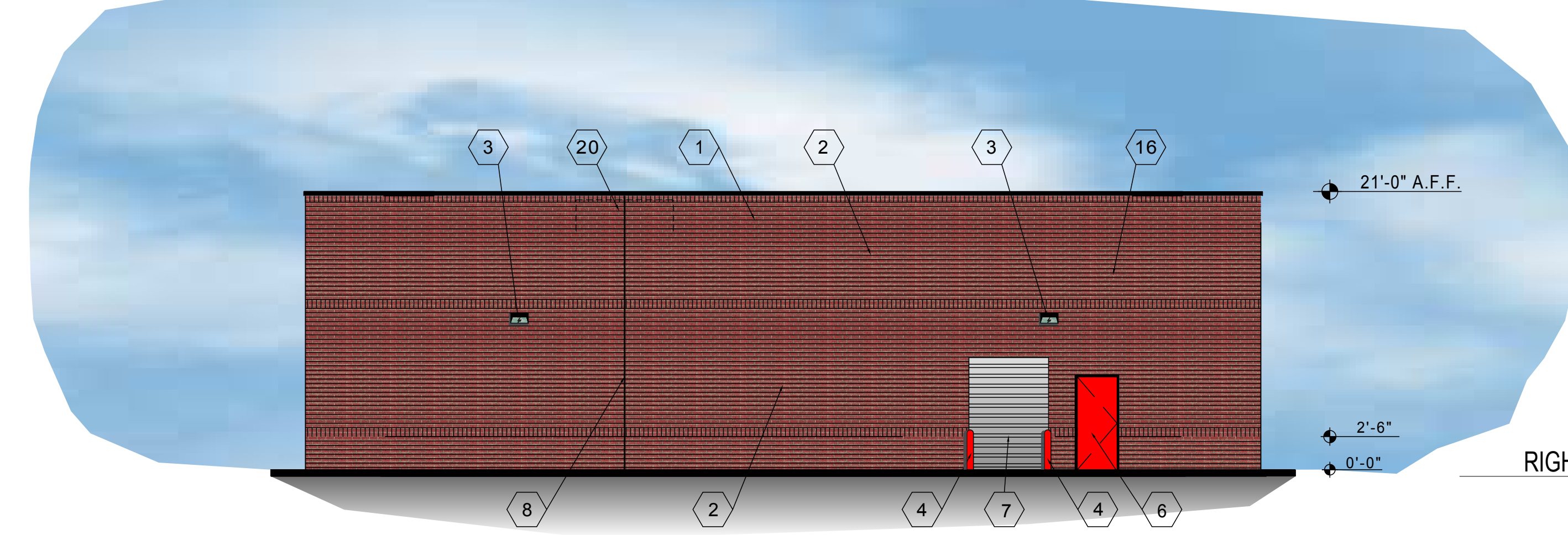
- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 BRICK VENEER UNITS
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 44" CHANNEL LSTRP
- 12 NOT USED
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOW LINE 2" ABOVE ROOF
- 16 BOND BEAM AT ROOF LINE
- 17 NOT USED
- 18 CLERESTORY WINDOW - EVERGREEN GLASS
- 19 FAUX WINDOW - OPAQUE BLACK GLASS
- 20 HVAC UNITS SCREENED BY PARAPET



LEFT ELEVATION

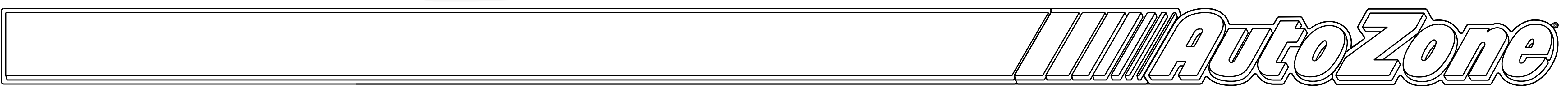


REAR ELEVATION



RIGHT ELEVATION

Color Elevation
AutoZone Store #6058
Columbia, MO



REVISIONS	

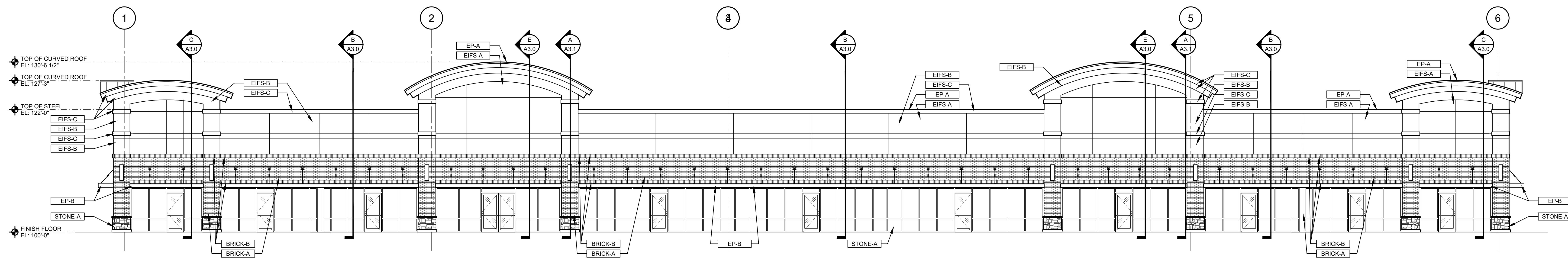
NOT FOR
CONSTRUCTION

PROFESSIONAL OF RECORD

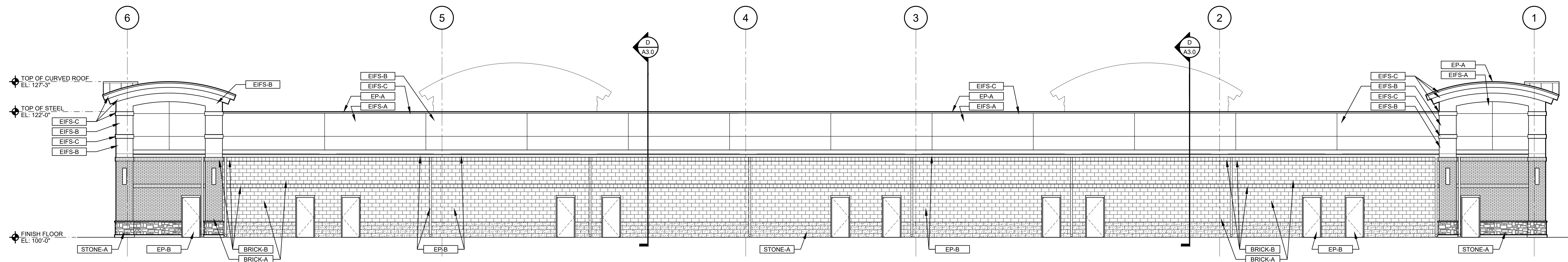
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Permit Date: 03/15/17 Bid Date: X
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EXTERIOR
ELEVATIONS
BLDG 'A'
SCALE: VARIES
(DO NOT SCALE DRAWINGS)

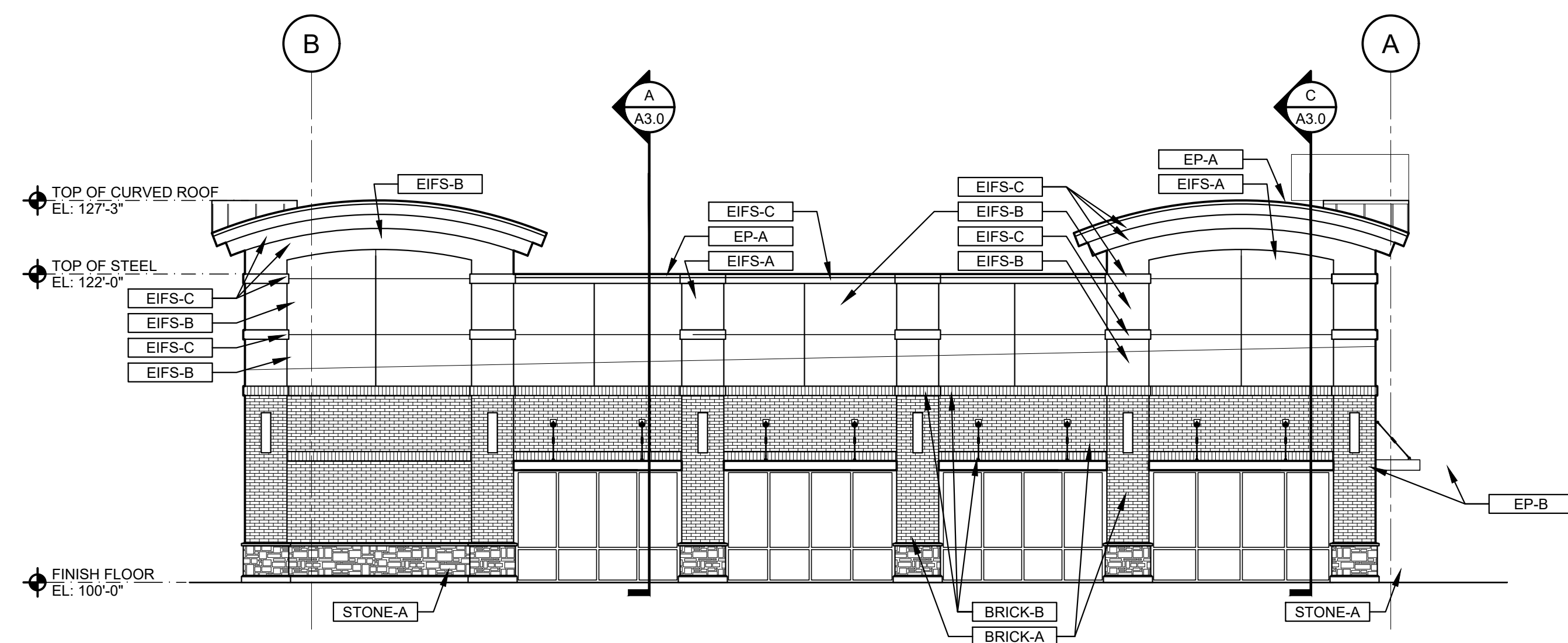
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A2.0



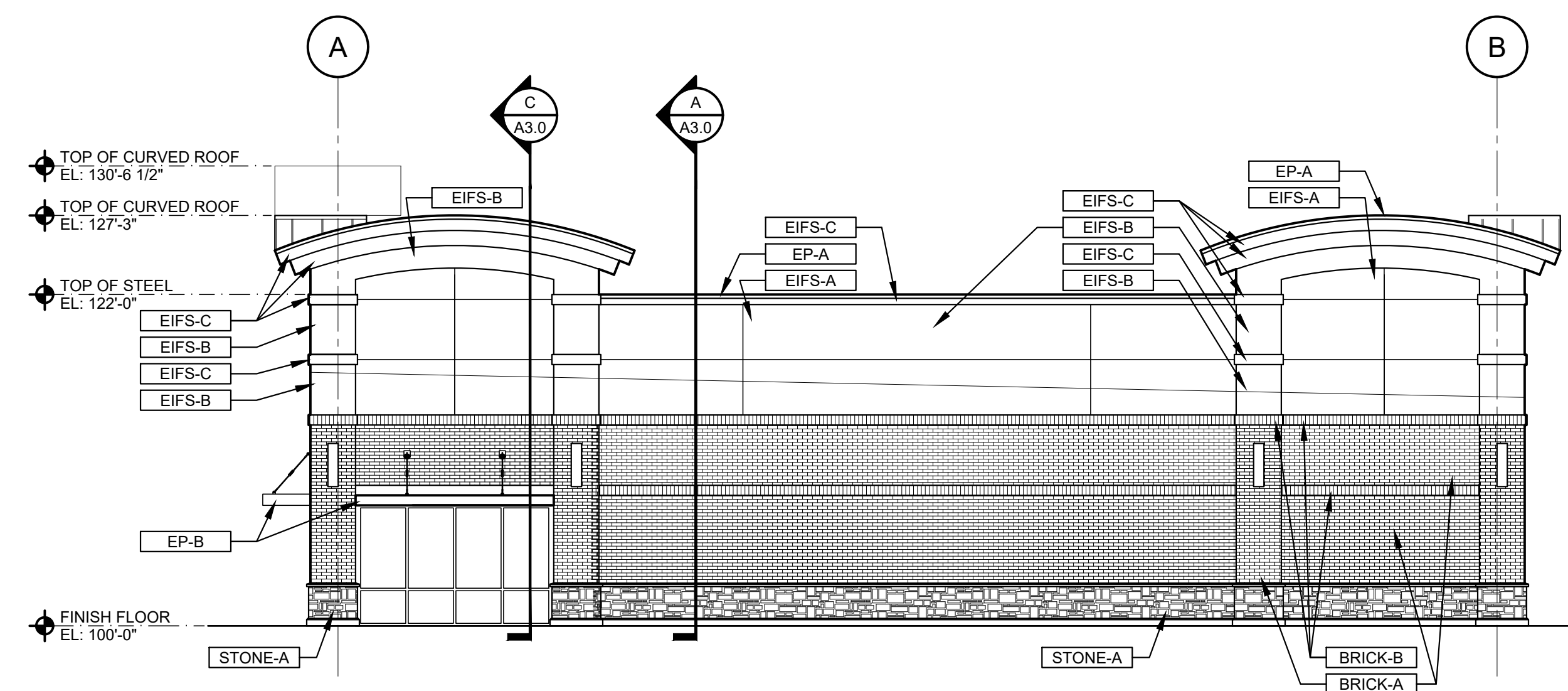
1 FRONT ELEVATION
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2 REAR ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



3 LEFT ELEVATION
A2.0 SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
A2.0 SCALE: 1/8" = 1'-0"

EXTERIOR PAINT & FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
EIFS-A	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
EIFS-B	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
EIFS-C	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
BRICK-A	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
BRICK-B	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
STONE-A	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
EP-A	METAL COPING, STANDING SEAM METAL ROOF		PAINT TO MATCH VARCO PRUDEN - COOL COLONIAL RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	

REVISIONS	

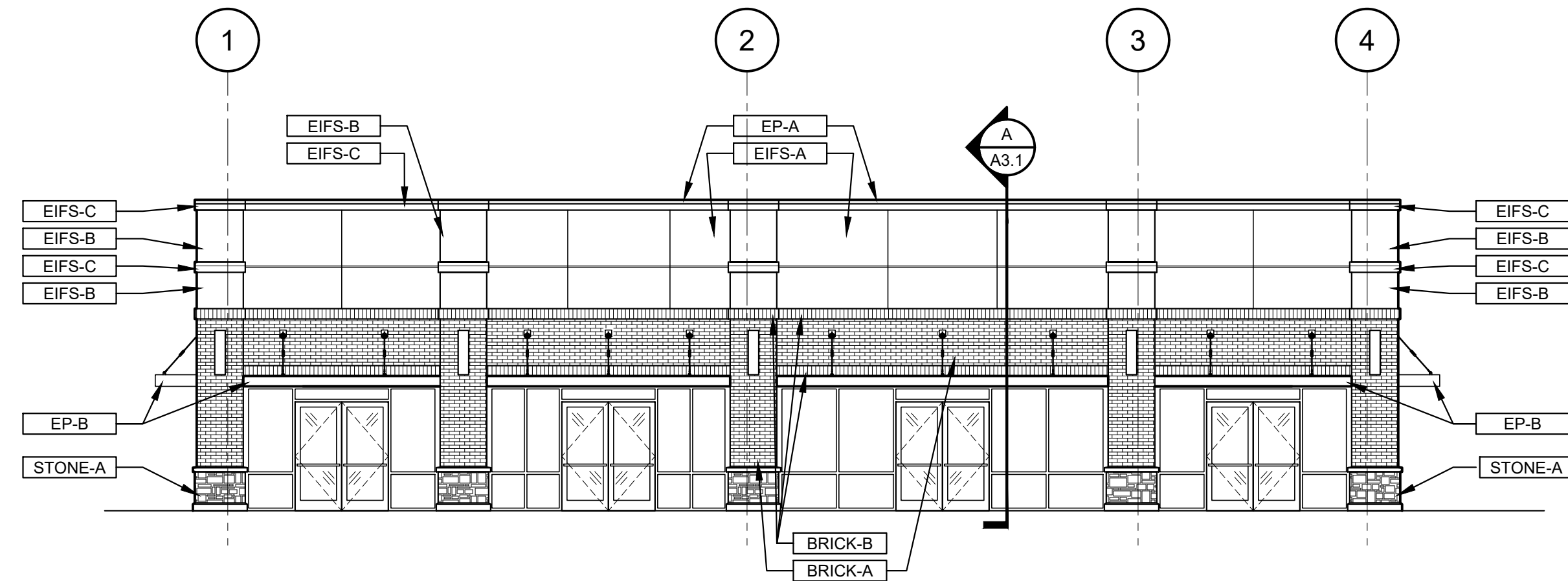
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CONSTRUCTION

PROFESSIONAL OF RECORD

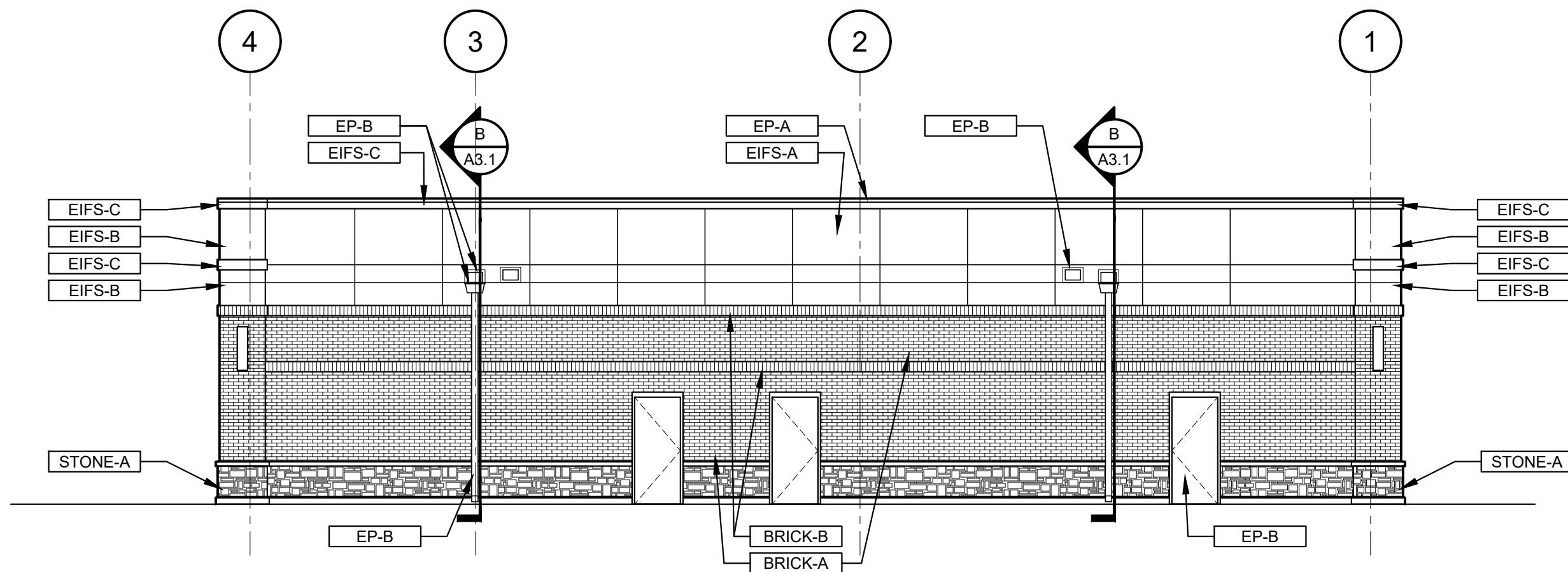
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Scale:
SHEET TITLE

EXTERIOR
ELEVATIONS
BLDG 'B'
SCALE : VARIES
(DO NOT SCALE DRAWINGS)

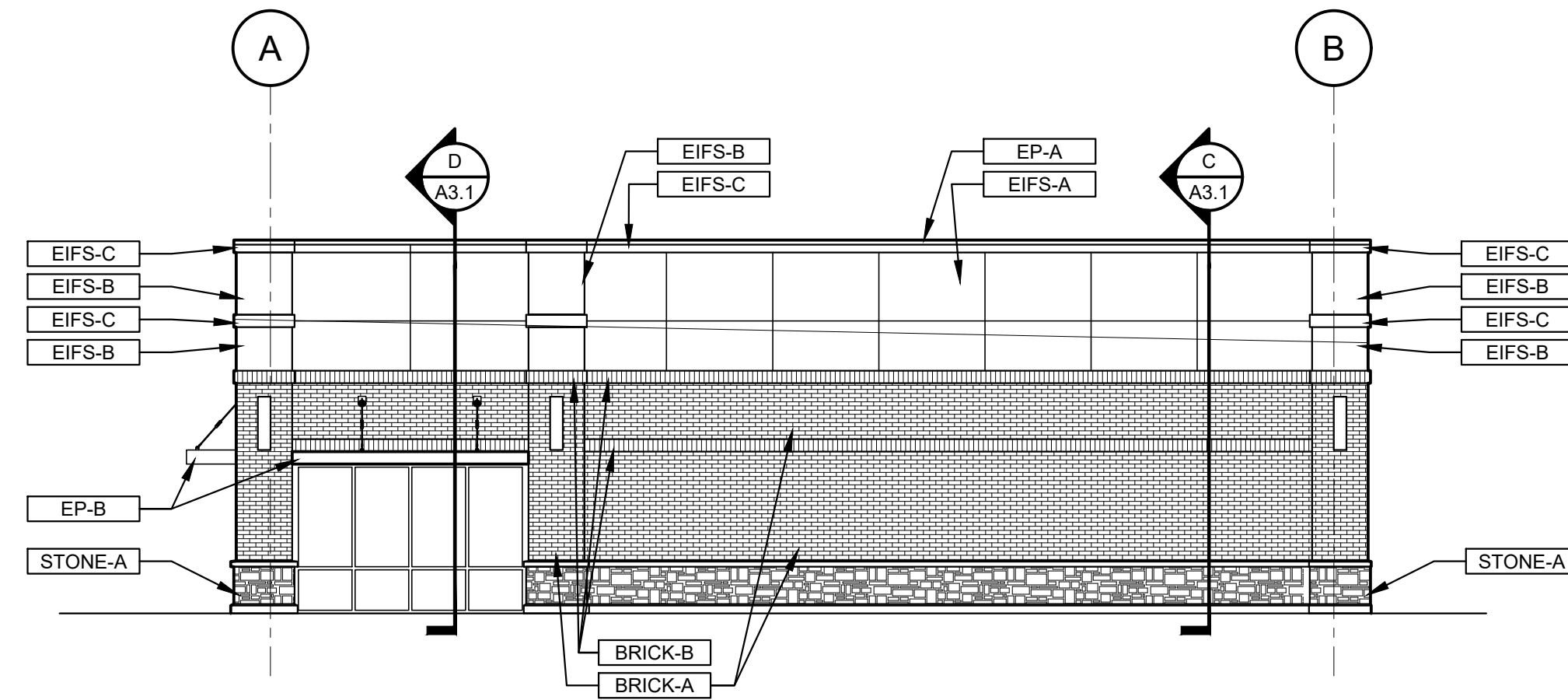
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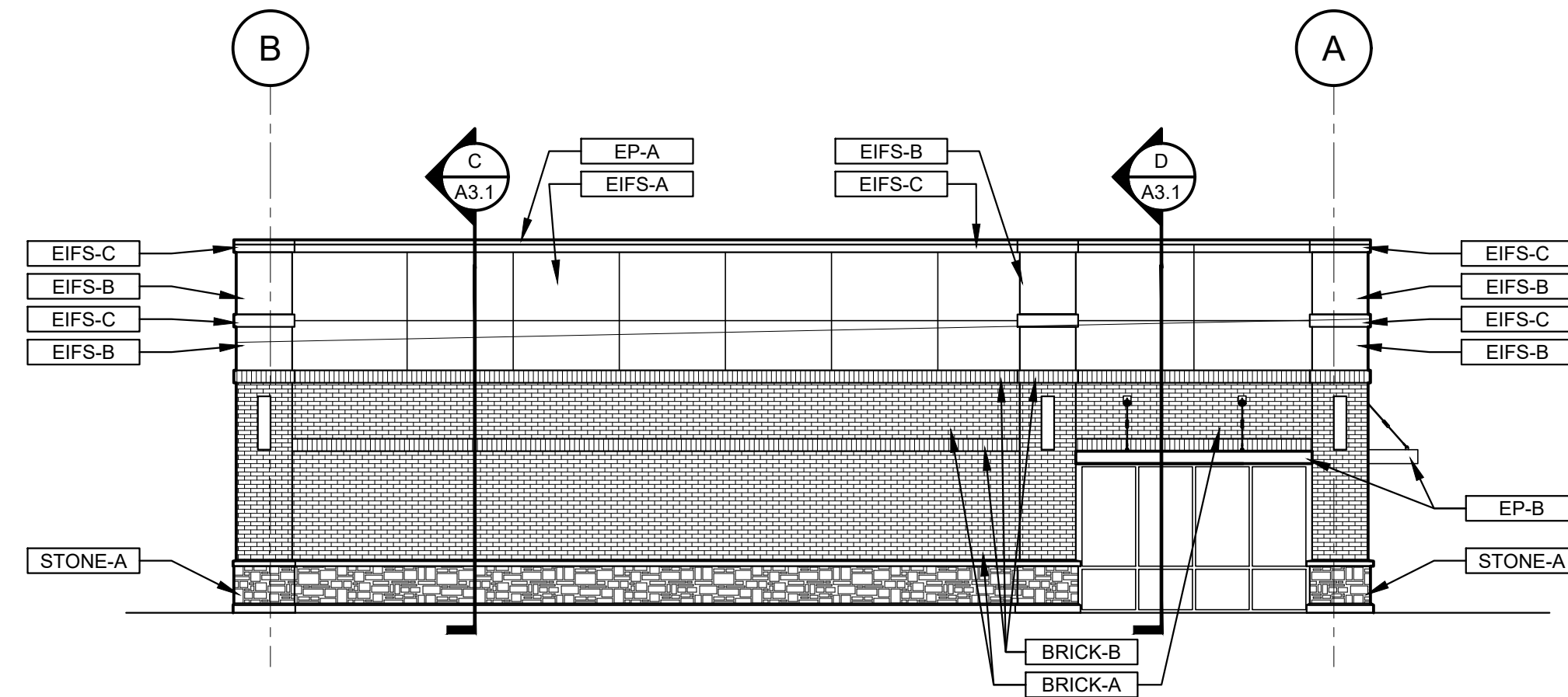
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SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

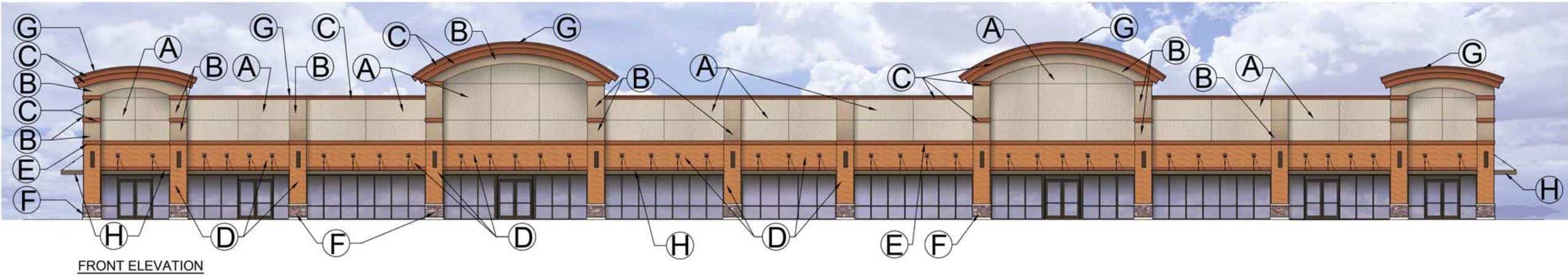


3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR PAINT & FINISH SCHEDULE				
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EP-A	METAL COPING, STANDING SEAM METAL ROOF		PAINOT MATCH VARCO PRUDEN - COOL COLONIAL RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	



A-DRYVIT #455a PEARL



B-DRYVIT #399 COFFEE MILK



C-DRYVIT #357a SAND DOLLAR



D-BRICK #100 BURNT PUMPKIN



E-BRICK #106 DENVER CLARET



F-STONE TORINO



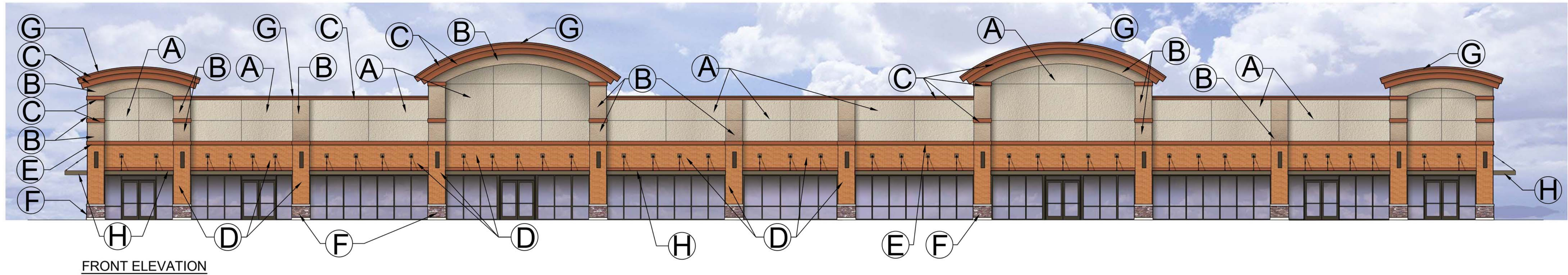
G-METAL McELROY METAL - AUTUMN RED

EXTERIOR PAINT & FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
A-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
B-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
C-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
D-BRICK	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
E-BRICK	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
F-STONE	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
G-METAL	METAL COPING, STANDING SEAM METAL ROOF		McELROY METAL - AUTUMN RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	

AMERICAN REALTY SHOPPING CENTER
GRINDSTONE PARKWAY AT NORFLEET DRIVE
COLUMBIA, MO

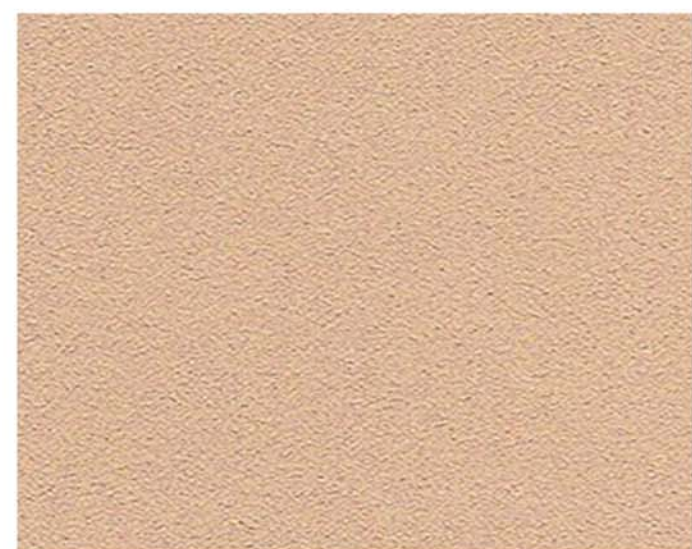




A-DRYVIT #455a PEARL



D-BRICK #100 BURNT PUMPKIN



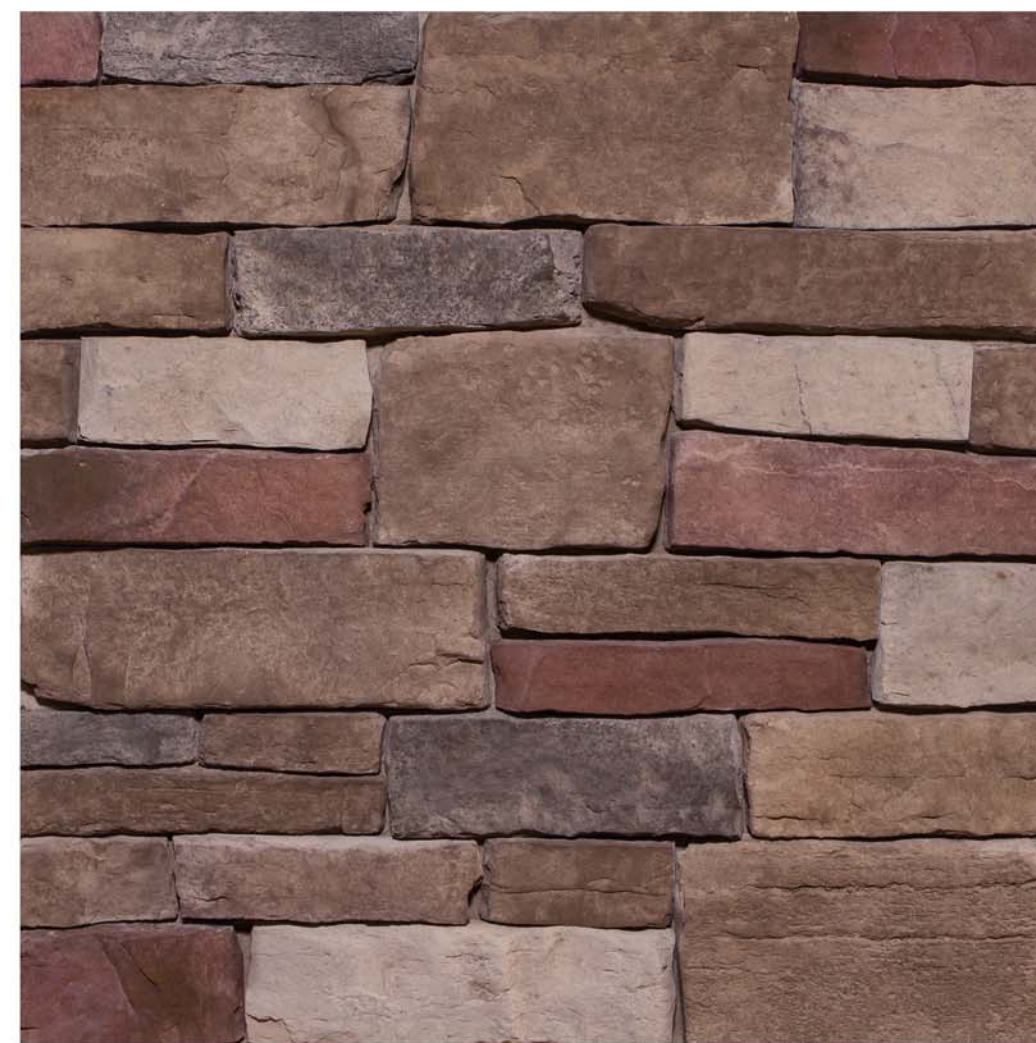
B-DRYVIT #399 COFFEE MILK



E-BRICK #106 DENVER CLARET



C-DRYVIT #357a SAND DOLLAR



F-STONE TORINO



G-METAL McELROY METAL - AUTUMN RED

EXTERIOR PAINT & FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
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EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	

AMERICAN REALTY SHOPPING CENTER
GRINDSTONE PARKWAY AT NORFLEET DRIVE
COLUMBIA, MO



EXTERIOR ELEVATIONS KEYED NOTES

- 1
- SIGNAGE SHOWN IS FOR SCHEMATIC USE ONLY - SIGANGE SUBMITTED UNDER SEPARATE PERMIT
- 2
- Q-LIGHT RAIL - PROVIDED BY VENDOR / INSTALLED BY VENDOR
- 3
- "Q" GRAPHIC AND "Q" SCREEN BY VENDOR - SIGANGE SUBMITTED UNDER SEPARATE PERMIT
- 4
- SUSPENDED WINDOW SIGN(S) SHOWN ARE FOR SCHEMATIC USE ONLY. COORDINATE WITH CM AND SIGNAGE SHOP DRAWINGS, TYP.
- 5
- STREET-ART SCREEN - VENDOR PROVIDED/CONTRACTOR INSTALLED - SEE VENDOR SHOP DWGS.
- 6
- GC TO PROVIDE & INSTALL RECESSED REMOTE C02 FILL AT EXTERIOR WALL - COORDINATE LOCATION WITH QDOBA CM.
- 7
- GC TO PAINT GAS METER TO MATCH ADJACENT FINISH.
- 8
- GC TO PAINT ELECTRIC PANELS TO MATCH ADJACENT FINISH.
- 9
- OVERFLOW NOZZLE - 18" ABOVE GRADE - REFER TO PLUMBING

GC TO PROVIDE PLASTIC COMPONENTS EIFS "M" CONTROL JOINT (2138XS), OR EQUAL, AT ALL EIFS CONTROL JOINTS AND PAINT TRANSITIONS.

EXTERIOR FINISHES					
TAG	DESCRIPTION	NOTES	NAT'L ACCT.	RESPONSIBILITY PROVIDE	INSTALL
CMU-1	Mfg: TRENDSTONE - MIDWEST SELECTION MATERIAL: GROUND FACED CMU SIZE: 8 x 8 x 16 COLOR: LANDERS BAY GROUT: NOTES: RUNNING BOND	EXTERIOR FINISHES BY OTHERS' WITH BASE SHELL CONSTRUCTION		X	GC
EIFS-1	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA NAVY NOTES: BM NEW PROVIDENCE NAVY 1651	EXTERIOR FINISHES BY OTHERS' WITH BASE SHELL CONSTRUCTION			GC
EIFS-2	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA BROWN NOTES: BM FALCON BROWN 1238	EXTERIOR FINISHES BY OTHERS' WITH BASE SHELL CONSTRUCTION			GC
EIFS-3	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA LIGHT TAUPE NOTES: BM STRAW HAT 270	EXTERIOR FINISHES BY OTHERS' WITH BASE SHELL CONSTRUCTION			GC
RS-1	Mfg: BERRIDGE OR EQUAL MATERIAL: HR-16 METAL WALL PANEL SIZE: 2-1/2" X 8" COLOR: ZINC GRAY NOTES: ROOF TOP EQUIPMENT SCREENING	EXTERIOR FINISHES BY OTHERS' WITH BASE SHELL CONSTRUCTION			GC
SF-1	Mfg: KAWNEER OR EQUAL MATERIAL: ALUMINUM COLOR: CLEAR ANODIZED NOTES:	EXTERIOR FINISHES BY OTHERS' WITH BASE SHELL CONSTRUCTION			GC

TRANSPARENCY SCHEDULE
NORTH ELEVATION
884 SQ FT = TOTAL BUILDING SIDE
172 SQ FT = 20% TRANSPARENCY REQUIRED
273 SQ FT = PROPOSED / 91 SQ FT (EA) STOREFRONT

6 FRONT ELEVATION (NORTH)

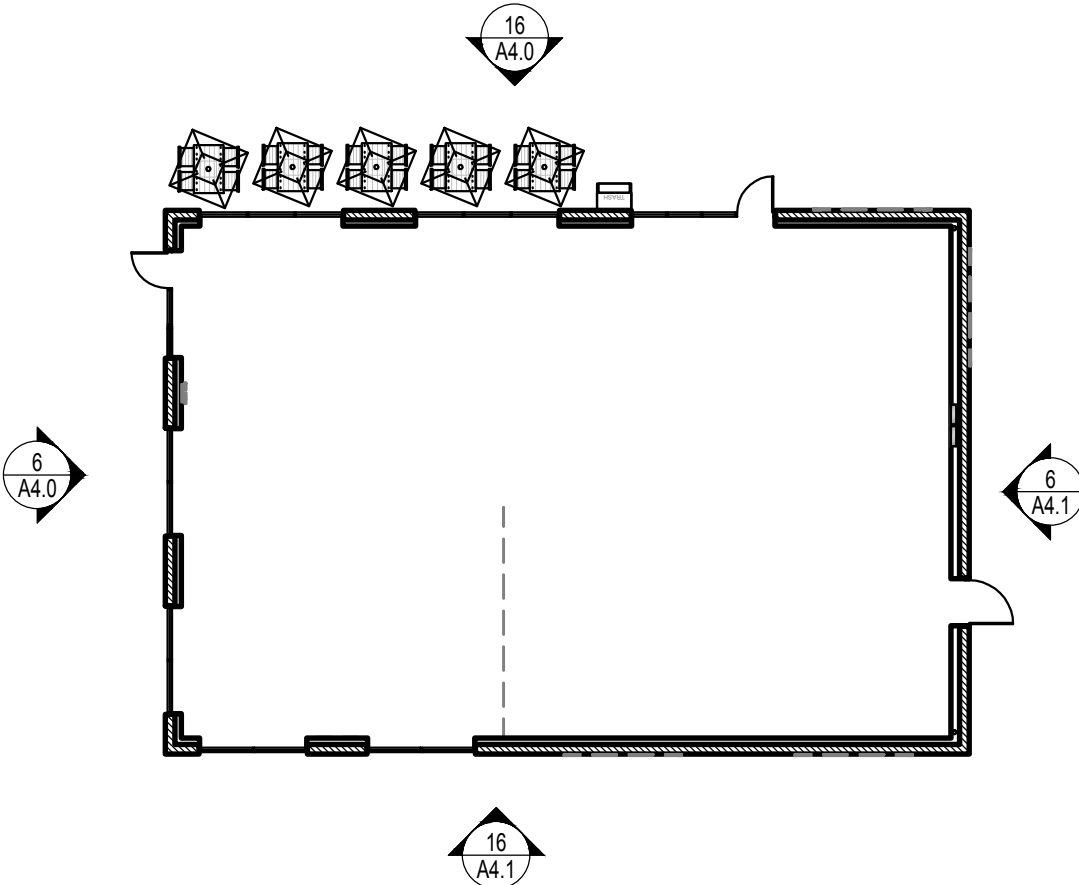
Scale: 1/4" = 1'-0"



16 SIDE ELEVATION (EAST)

Scale: 1/4" = 1'-0"

TRANSPARENCY SCHEDULE
EAST ELEVATION
1312 SQ FT = TOTAL BUILDING SIDE
263 SQ FT = 20% TRANSPARENCY REQUIRED
363 SQ FT = PROPOSED / 121 SQ FT (EA) STOREFRONT



EXTERIOR ELEVATIONS KEY PLAN

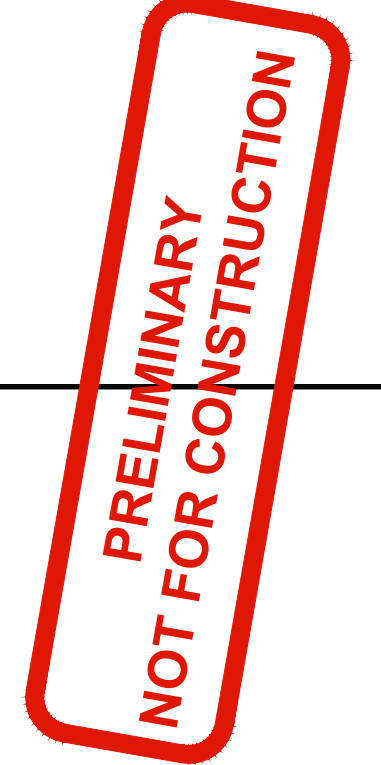
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LingleDesignGroup, Inc
158 West Main Street, Lena, IL 61048
1860 W. Evans Ave., Englewood, CO 80110
Phone: 815-369-9155
Fax: 815-369-4495
www.lingledesign.com



DATES	
RELEASE:	12/29/17
P.M. UPDATES:	-
SUBMITTAL DATE:	
1:	01/03/18
2:	01/04/18
3:	-
BID:	-
CONSTRUCTION:	-

REVISIONS	
△	-
△	-
△	-
△	-
△	-
△	-

These drawings attached are intended to assist the architect in preparing site-adapt construction documents provided that such use does not conflict with rules governing architects in the state where the work is to be performed. They will need to be modified to comply with all applicable codes and site-specific conditions.

SITE INFORMATION	
QME #:	00XXXX
ADDRESS:	COLUMBIA, MO 401 GRINDSTONE PLAZA
DRAWN BY:	KBB
PROJECT #:	17-0946
SCALE:	1/4" = 1'-0"

EXTERIOR ELEVATIONS

A4.0

EXTERIOR ELEVATIONS KEYED NOTES

- 1

SIGNAGE SHOWN IS FOR SCHEMATIC USE ONLY – SIGNAGE SUBMITTED UNDER SEPARATE PERMIT
- 2

Q-LIGHT RAIL – PROVIDED BY VENDOR / INSTALLED BY VENDOR
- 3

"Q" GRAPHIC AND "Q" SCREEN BY VENDOR – SIGANCE SUBMITTED UNDER SEPARATE PERMIT
- 4

SUSPENDED WINDOW SIGN(S) SHOWN ARE FOR SCHEMATIC USE ONLY. COORDINATE WITH CM AND SIGNAGE SHOP DRAWINGS, TYP.
- 5

STREET-ART SCREEN – VENDOR PROVIDED/CONTRACTOR INSTALLED – SEE VENDOR SHOP DWGS.
- 6

GC TO PROVIDE & INSTALL RECESSED REMOTE CO2 FILL AT EXTERIOR WALL – COORDINATE LOCATION WITH QDOBA CM.
- 7

GC TO PAINT GAS METER TO MATCH ADJACENT FINISH.
- 8

GC TO PAINT ELECTRIC PANELS TO MATCH ADJACENT FINISH.
- 9

OVERFLOW NOZZLE – 18" ABOVE GRADE – REFER TO PLUMBING

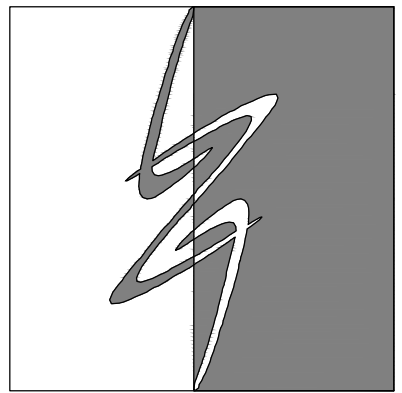
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EXTERIOR FINISHES					
TAG	DESCRIPTION	NOTES	NAT'L ACCT	RESPONSIBILITY PROVIDE	INSTALL
CMU-1	Mfg: TRENDSTONE – MIDWEST SELECTION MATERIAL: GROUND FACED CMU SIZE: 8 x 8 x 16 COLOR: LANDERS BAY GROUT: NOTES: RUNNING BOND	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION	X	GC	GC
EIFS-1	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA NAVY NOTES: BM NEW PROVIDENCE NAVY 1651	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC
EIFS-2	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA BROWN NOTES: BM FALCON BROWN 1238	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC
EIFS-3	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA LIGHT TAUPE NOTES: BM STRAW HAT 270	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC
RS-1	Mfg: BERRIDGE OR EQUAL MATERIAL: HR-16 METAL WALL PANEL SIZE: 2-1/2" X 8" COLOR: ZINC GRAY NOTES: ROOF TOP EQUIPMENT SCREENING	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC
SF-1	Mfg: KAWNEER OR EQUAL MATERIAL: ALUMINUM COLOR: CLEAR ANODIZED NOTES:	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC



QDOBA
7244 W. BONIFILS LANE
LAKEWOOD, CO 80226

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PRELIMINARY
NOT FOR CONSTRUCTION

DATES

RELEASE: 12/29/17
P.M. UPDATES: -
SUBMITTAL DATE:
1: 01/03/18
2: 01/04/18
3: -
BID: -
CONSTRUCTION: -

REVISIONS

△ -
△ -
△ -
△ -
△ -
△ -

These drawings attached are intended to assist the architect in preparing site-adapt construction documents provided that such use does not conflict with rules governing architects in the state where the work is to be performed. They will need to be modified to comply with all applicable codes and site-specific conditions.

SITE INFORMATION

QME #: 00XXXX
ADDRESS:
COLUMBIA, MO
401 GRINDSTONE PLAZA

DRAWN BY: KBB
PROJECT #: 17-0946
SCALE: 1/4" = 1'-0"

EXTERIOR
ELEVATIONS

A4.1

19'-7" A.F.F.
T.O. PARAPET

10'-0" A.F.F.
B.O. WORDMARK RAIL

0'-0" A.F.F.
FINISHED GRADE

6 REAR ELEVATION (SOUTH)

Scale: 1/4" = 1'-0"

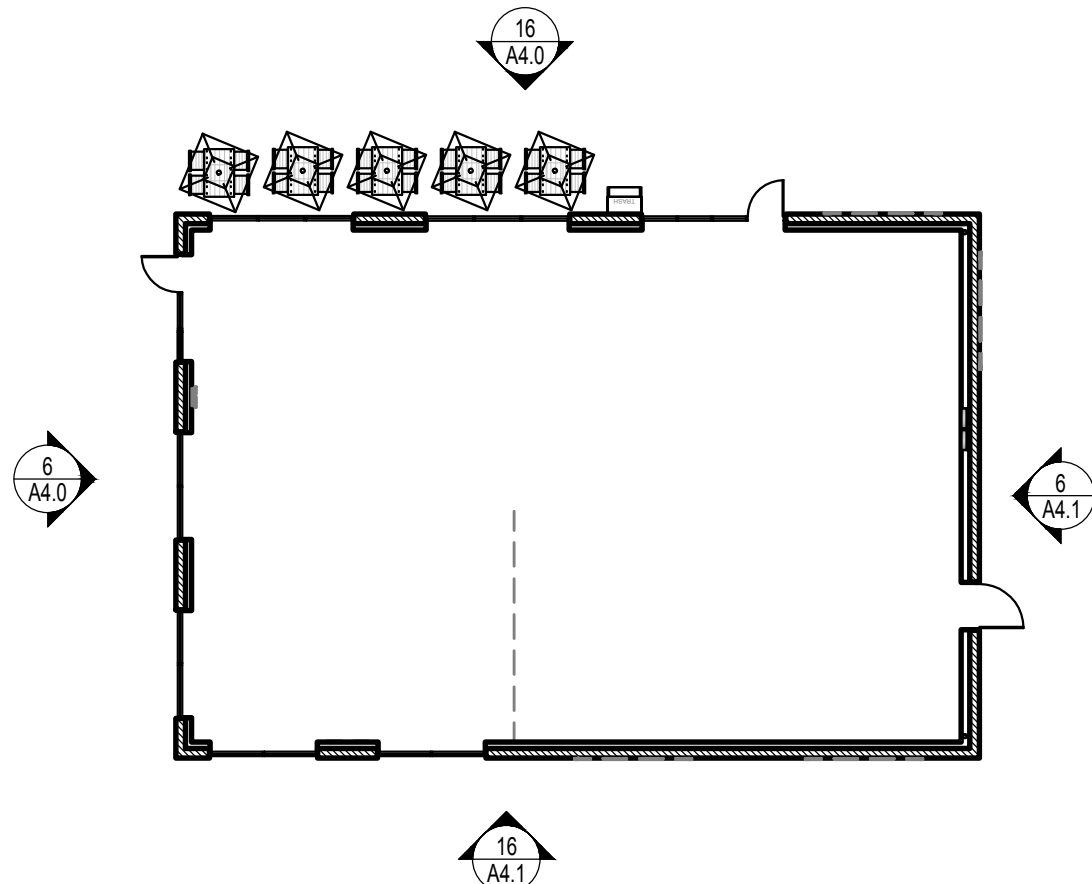
19'-7" A.F.F.
T.O. PARAPET

10'-0" A.F.F.
B.O. WORDMARK RAIL

1'-4" A.F.F.
T.O. SILL
0'-0" A.F.F.
FINISHED GRADE

16 SIDE ELEVATION (WEST)

Scale: 1/4" = 1'-0"



EXTERIOR ELEVATIONS KEY PLAN

Scale: N.T.S.